

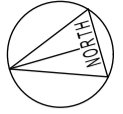
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COUNCIL: JOONDALUP			PROJECT: ELITE SPECIFICATION Custom			OWNER(S): Zappa Developments		
REV	DETAILS	DWN DATE	CHK	REV	DETAILS	DWN DATE	CHK	ADDRESS: U1 - LOT 425 (#12) PIERRE PLACE PADBURY
01	PLANNING	LM NOV'23	-					JOB NO: - SHEET 01 of 05 REV No: 02
02	AMEND	LM DEC'23	-					SITE PLAN SCALE: 02
OWNER..... DATE.....						JOB NO: -		SHEET 01 of 05
BUILDER..... DATE.....						SCALE: 02		REV No: 02

LOT No: 425

AREA : 941m²



UNIT 1 - SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	483.42m ²
SITE COV. AREA	210.15m ²

SITE COV. = 43.5%

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m ³
Roof Area GF		259.0 m ²
Total Area		259.0 m ²
Capacity Required (Area x 0.0125)		3.2 m ³
Extra Capacity Provided		1.0 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

TERMITE TREATMENT TO BE IN ACCORDANCE N.C.C. 2016 PART 3.1.3 PART 2.1.1 & PART 1.0.7 USING THE TERMICO MANAGEMENT SYSTEM

NOTE: PROVIDE PHYSICAL TERMITE BARRIER TO HOUSE & GARAGE ZERO LOT LINE WALLS

NOTE: SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.

STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS)

NOTE: PLUMBING & ELECTRICAL PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

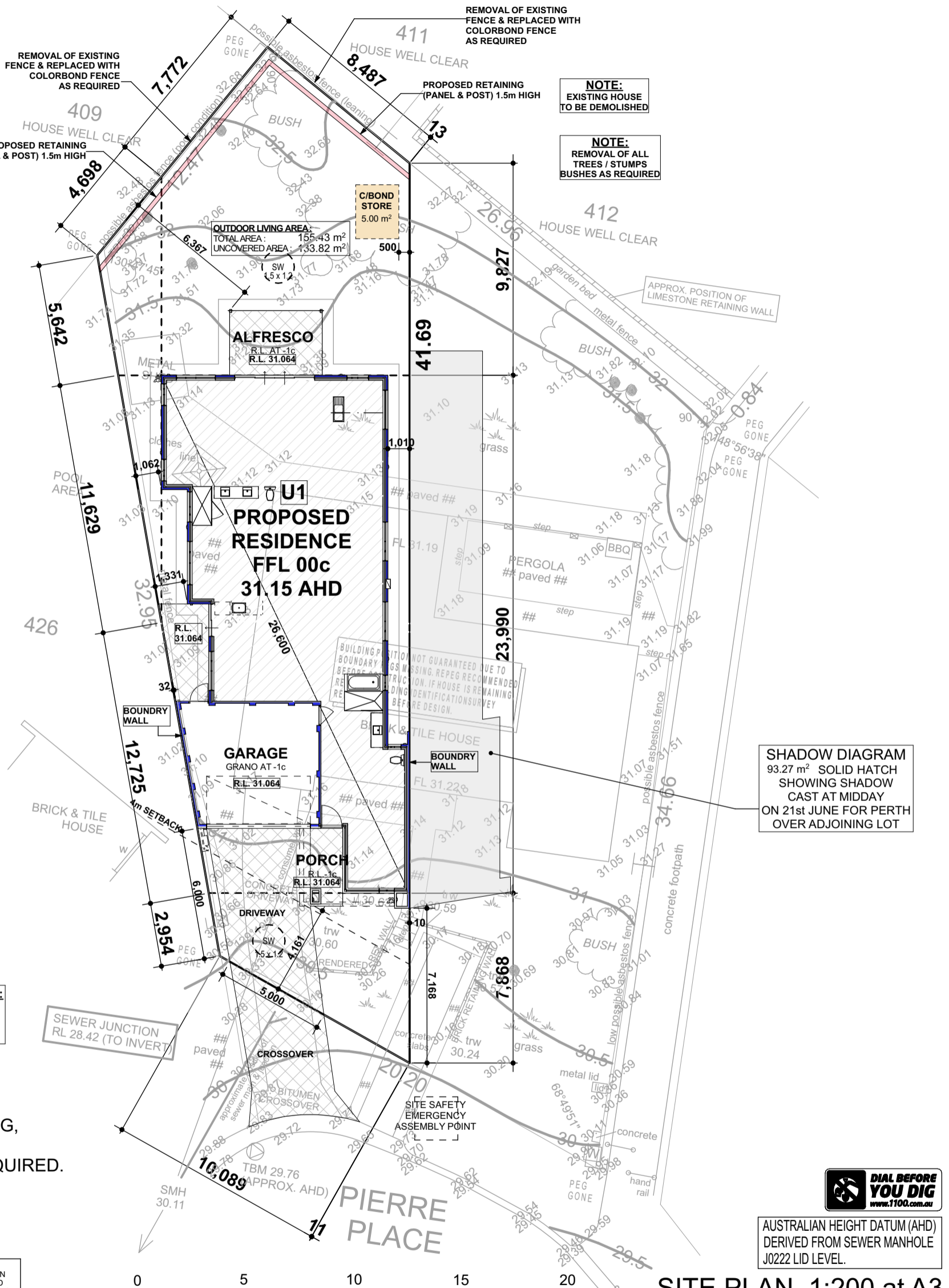
U1 - LANDSCAPING SETBACK AREA (4m) :
TOTAL SETBACK AREA 42.23m²
PERVIOUS AREA = 21.73m²
IMPERVIOUS AREA = 20.53m²

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



SHADOW DIAGRAM 93.27 m² SOLID HATCH SHOWING SHADOW CAST AT MIDDAY ON 21st JUNE FOR PERTH OVER ADJOINING LOT



AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE J0222 LID LEVEL.

SITE PLAN 1:200 at A3

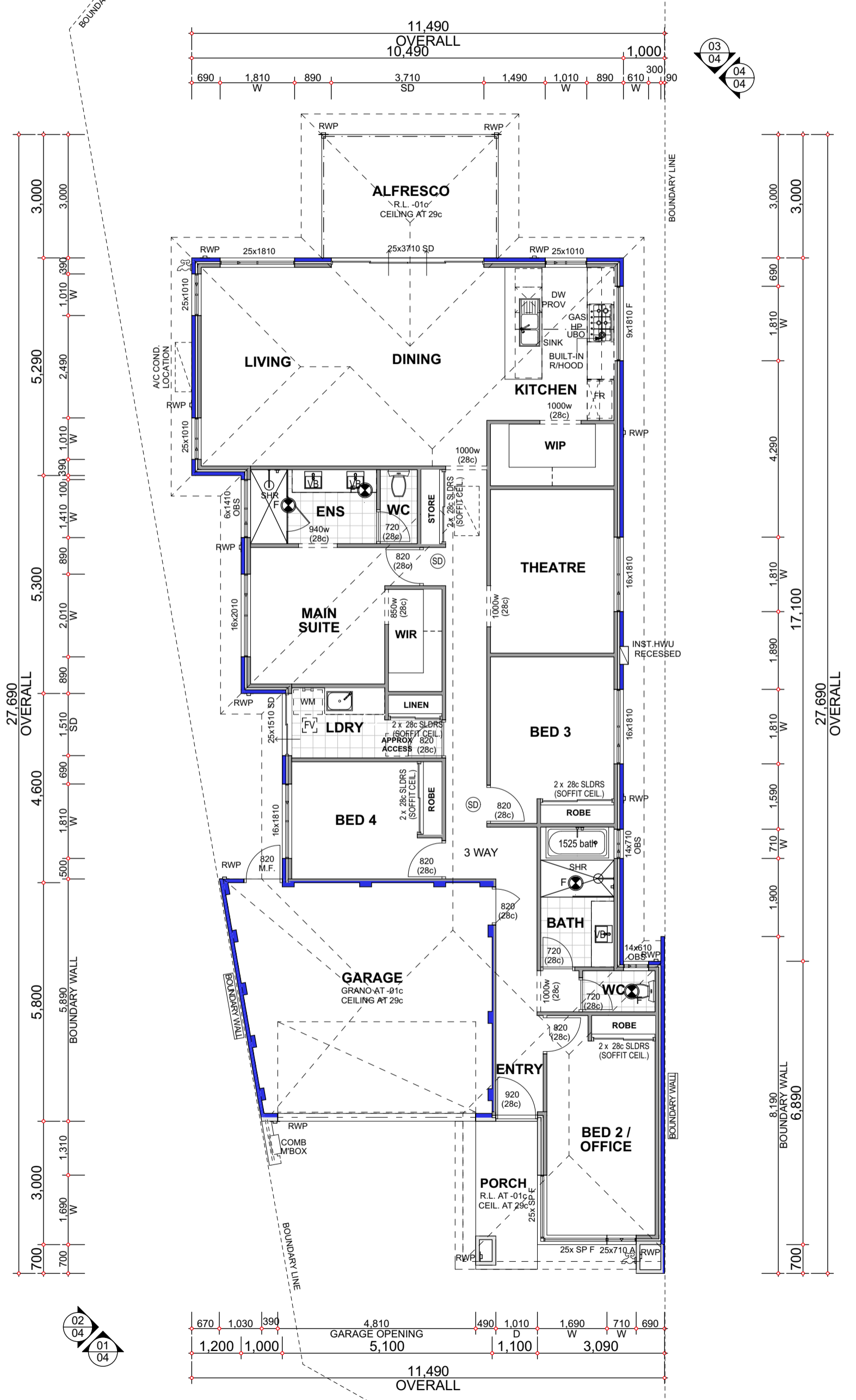
REF NO: 72703	FILE NO: 2459	DATE: 26.09.23	DRAWN: AC
SURVEYOR SITE INSPECTION REPORT			
ELECTRICITY: OVERHEAD	GAS: YES	PHONE: YES (not sighted)	WATER: YES (RHS)
SEWERAGE: YES, ABOUT 1.7m DEEP (TO INVERT)	ROAD: HOTMIX	KERB: MOUNTABLE (cracked)	FOOTPATH: CONCRETE (P.A.W.)
VEGETATION: ESTABLISHED GARDENS, TREES & PALMS	SOIL: SAND	VIEWS: NIL	REPEG: REQUIRED
REPEG TYPE: OLD SURVEY AREA			

R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS FIRST FLOOR EAST 6 GIBBERD ROAD BALCATTA WA 6021 PH: 9448 5009 admin@lestersurveys.com.au	
IMPORTANT NOTE: Location of boundary pegs & improvements NOT guaranteed unless boundaries are repegged at time of survey. Check title for easements, caveats & covenants. Plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.	
LEGEND	
[N] NBN PIT	[G] GAS
[T] TELECOM PIT	[H] HYDRANT
[C] COMMUNICATION PIT	[F] FENCE END
[P] POWER DOME	[X] PILLAR
[PP] POWER POLE	[trw] TOP OF RETAINING WALL
[SL] STREET LAMP	[T] TREE
[PT] PALM TREE	[TS] TREE STUMP
[SEP] SIDE ENTRY PIT	[DM] DRAINAGE MANHOLE
[GD] GRATED DRAIN	[SV] STOP VALVE
[PLW] PRE-LAID WATER PIPE	[WM] WATER METER
[SM] SEWERAGE MANHOLE	[SIL] SEWERAGE INSPECTION LID

NOTES Block located more than 1 kilometre from the ocean.	
BUILDER:	
CLIENT / S:	ZAMPOGNA
SITE ADDRESS:	LOT 425 (#12) PIERRE PLACE, PADBURY
Local Authority:	CITY OF JOONDALUP
TITLE DETAILS	
LOT Nos: 425	C/T VOL: 1334
PLAN: 9938	FOL: 568
JOB No:	72703

NOTE:
 -230mm CAVITY DOUBLE BRICK
 -EXT. WALLS 2c FACE BRICK (162x290x90mm)
 -INT. WALLS PLASTERED 90mm BRICK
 -FRONT ELEVATION RENDER
 (EXTENT AS PER PLANS)
 -ALL STRUCTURAL TIMBER H2 TREATED (min)
 -RWP's INDICATIVE ONLY & FINAL POSITION
 TO PLUMBERS DISCRETION.
 -CEILING VENT TO BE INSTALLED TO LAUNDRY
 -REFER ELEVATIONS FOR EAVE HEIGHTS
 -HARDIFLEX TO ALL EXTERNAL CEILINGS &
 EAVE LININGS UNLESS OTHERWISE NOTED
 -REFER A/C CONTRACTOR FOR REQUIREMENTS

NOTE:
 32c +PLATE CEILING
 LEVEL
 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK
 & ACRYLIC TEXTURE COAT
 FINISH TO EXTERNAL BWK
 UNLESS NOTED OTHERWISE.

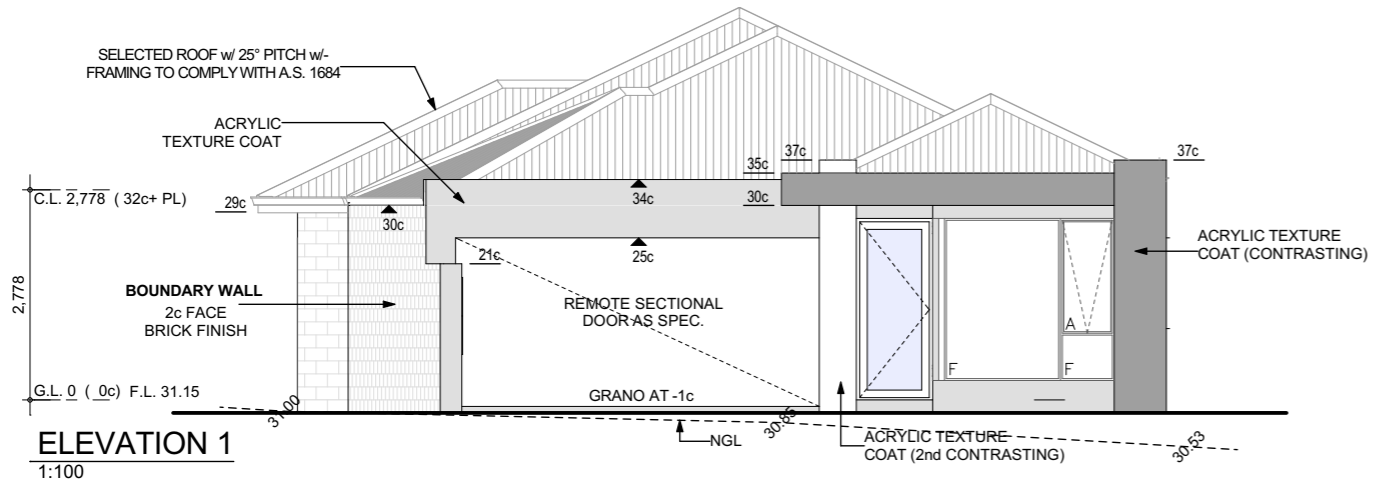


OWNER(S):		Zappa Developments	
PROJECT: ELITE SPECIFICATION		Custom	
PERIM:	COUNCIL:	JOONDALUP	
GR. FLOOR	AREA	174.53	70.96
GARAGE	AREA	35.56	
ALFRESCO	AREA	12.87	
PORCH	AREA	5.25	
TOTAL AREA		228.21 m²	
OWNER:		DATE:	
BUILDER:		DATE:	
JOB NO: -		03 of 05	
SHEET		02	
FLOOR PLAN		SCALE: 1:100	
REV NO:		02	

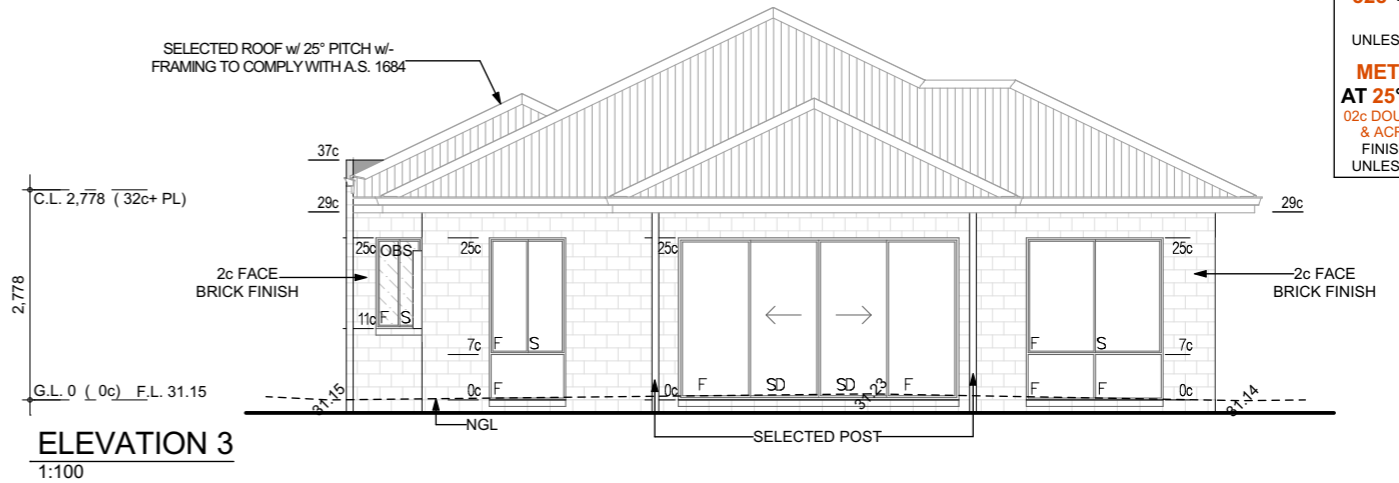
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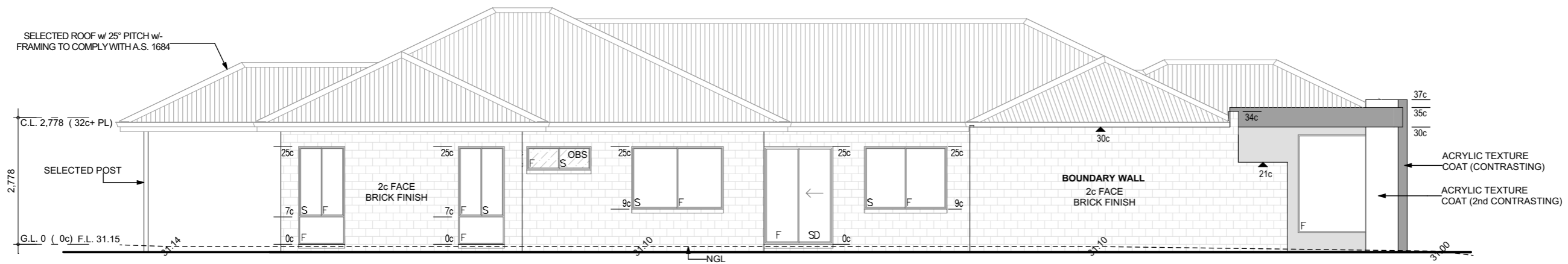
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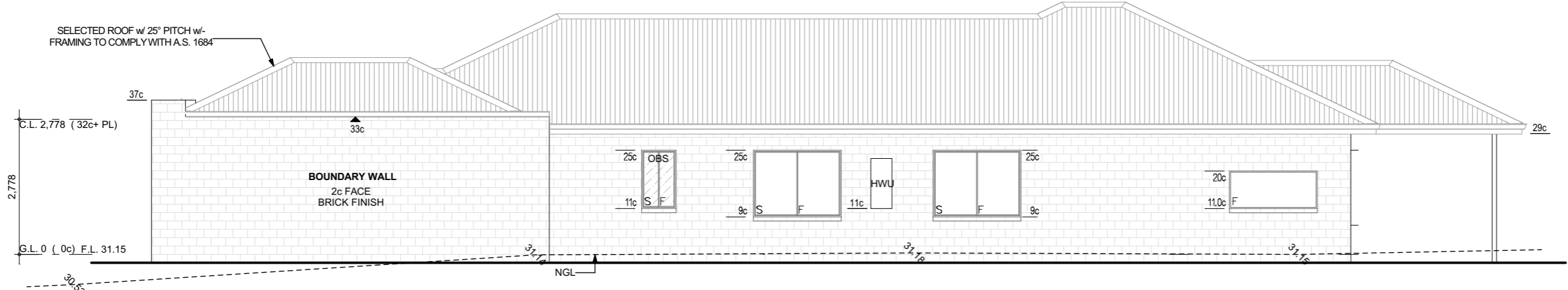
ELEVATION 1
1:100



ELEVATION 3
1:100



ELEVATION 2
1:100



ELEVATION 4
1:100

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REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK	ADDRESS: U1 - LOT 425 (#12) PIERRE PLACE PADBURY			
01	PLANNING	LM	NOV'23	-						JOB NO: -	SHEET 04 of 05	REV No:	
02	AMEND	LM	DEC'23							ELEVATIONS	SCALE: 1:100	02	
OWNER..... DATE.....										JOB NO: -		SHEET 04 of 05	REV No:
BUILDER..... DATE.....										ELEVATIONS		SCALE: 1:100	02

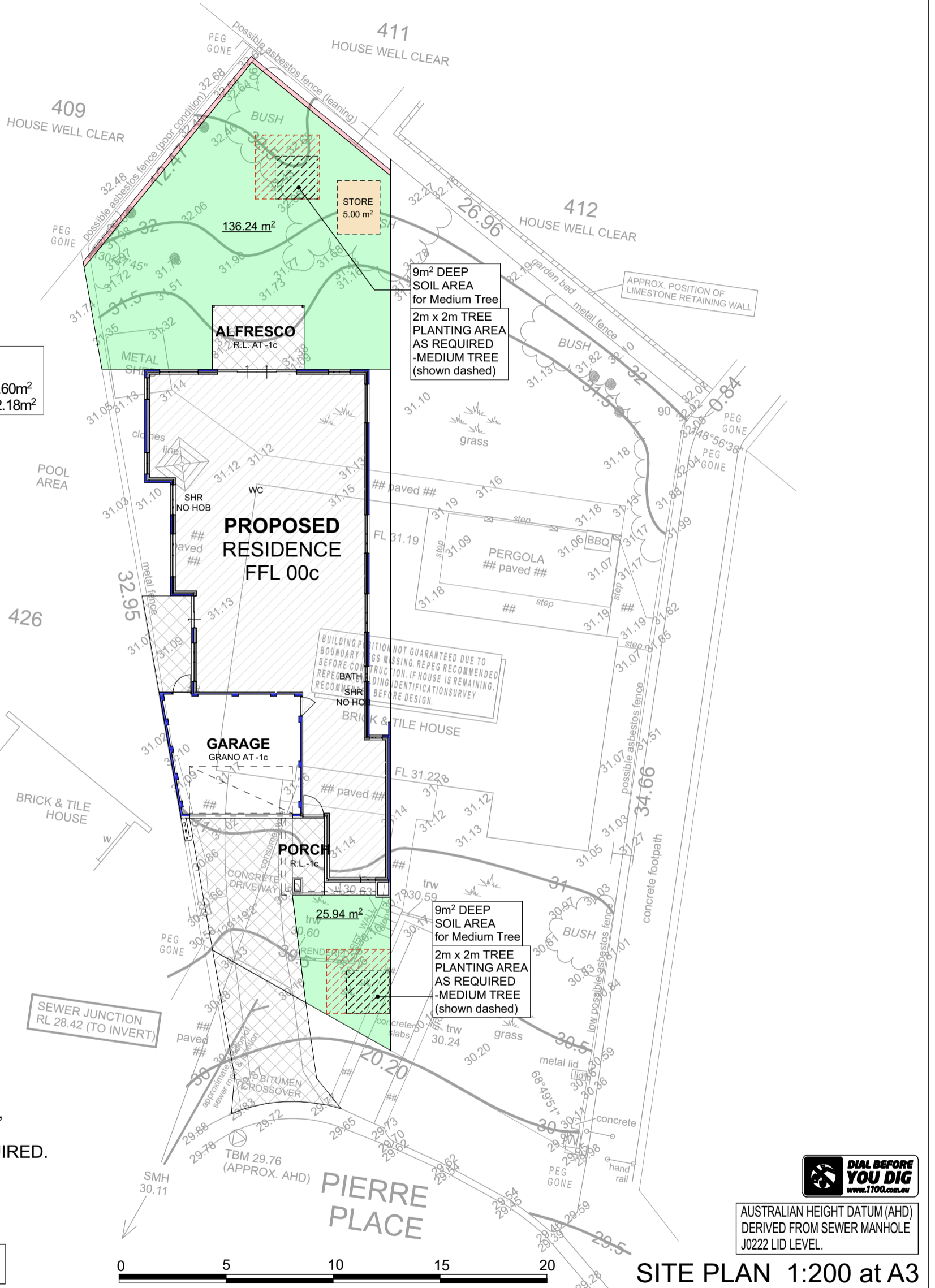
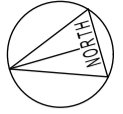
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COUNCIL: JOONDALUP				PROJECT: ELITE SPECIFICATION Custom				OWNER(S): Zappa Developments			
REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK	ADDRESS: U1 - LOT 425 (#12) PIERRE PLACE PADBURY	
01	PLANNING	LM	NOV'23	-						JOB NO: -	SHEET 02 of 05
02	AMEND	LM	DEC'23							LANDSCAPING PLAN	SCALE: 02
OWNER..... DATE.....						JOB NO: -		SHEET 02 of 05		REV No:	
BUILDER..... DATE.....						LANDSCAPING PLAN		SCALE:		02	

LOT No: 425

AREA : 941m²



AUSTRALIAN HEIGHT DATUM (AHD)
 DERIVED FROM SEWER MANHOLE
 J0222 LID LEVEL.

REF NO: 72703 FILE NO: 2459 DATE: 26.09.23 DRAWN: AC	
SURVEYOR SITE INSPECTION REPORT	
ELECTRICITY: OVERHEAD	GAS: YES
PHONE: YES (not sighted)	WATER: YES (RHS)
SEWERAGE: YES, ABOUT 1.7m DEEP (TO INVERT)	
ROAD: HOTMIX	
KERB: MOUNTABLE (cracked)	
FOOTPATH: CONCRETE (P.A.W.)	
VEGETATION: ESTABLISHED GARDENS, TREES & PALMS	
SOIL: SAND	
VIEWS: NIL	
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA

R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS FIRST FLOOR EAST 16 GIBBERD ROAD BALCATTA WA 6021 PH: 9448 5009 admin@lestersurveys.com.au	
IMPORTANT NOTE: Location of boundary pegs & improvements NOT guaranteed unless boundaries are repegged at time of survey. Check title for easements, caveats & covenants. Plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.	
LEGEND	
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[T] TELECOM PIT	[L] FENCE END
[C] COMMUNICATION PIT	[X] PILLAR
[P] POWER DOME	[trw] TOP OF RETAINING WALL
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	[■] GRATED DRAIN
	[S] STOP VALVE
	[W] PRE-LAID WATER PIPE
	[W] WATER METER
	[□] SEWERAGE MANHOLE
	[S] SEWERAGE INSPECTION LID

NOTES Block located more than 1 kilometre from the ocean.	
BUILDER:	
CLIENT / S: ZAMPOGNA	
SITE ADDRESS: LOT 425 (#12) PIERRE PLACE, PADBURY	
Local Authority: CITY OF JOONDALUP	
TITLE DETAILS	
LOT Nos: 425	C/T VOL: 1334
PLAN: 9938	FOL: 568
JOB No: 72703	
SURVEY JOB No: 72703	

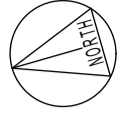
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COUNCIL: JOONDALUP				PROJECT: ELITE SPECIFICATION Custom				OWNER(S): Zappa Developments			
REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK	ADDRESS: U2 - LOT 425 (#12) PIERRE PLACE PADBURY	
01	PLANNING	LM	NOV'23	-						JOB NO: -	SHEET 01 of 05
02	AMEND	LM	DEC'23							SCALE: 02	REV No:
										OWNER: DATE:	
										BUILDER: DATE:	
										SITE PLAN	

LOT No: 425

AREA : 941m²



UNIT 2 - SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	457.76m ²
SITE COV. AREA	205.49m ²

SITE COV. =44.9%

Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		250.0 m2
Total Area		250.0 m2
Capacity Required (Area x 0.0125)		3.1 m3
Extra Capacity Provided		1.1 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

TERMITE TREATMENT TO BE IN ACCORDANCE N.C.C. 2016 PART 3.1.3 PART 2.1.1 & PART 1.0.7 USING THE TERMICO MANAGEMENT SYSTEM

NOTE: PROVIDE PHYSICAL TERMITE BARRIER TO HOUSE & GARAGE ZERO LOT LINE WALLS

NOTE: SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.

STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS)

NOTE: PLUMBING & ELECTRICAL PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

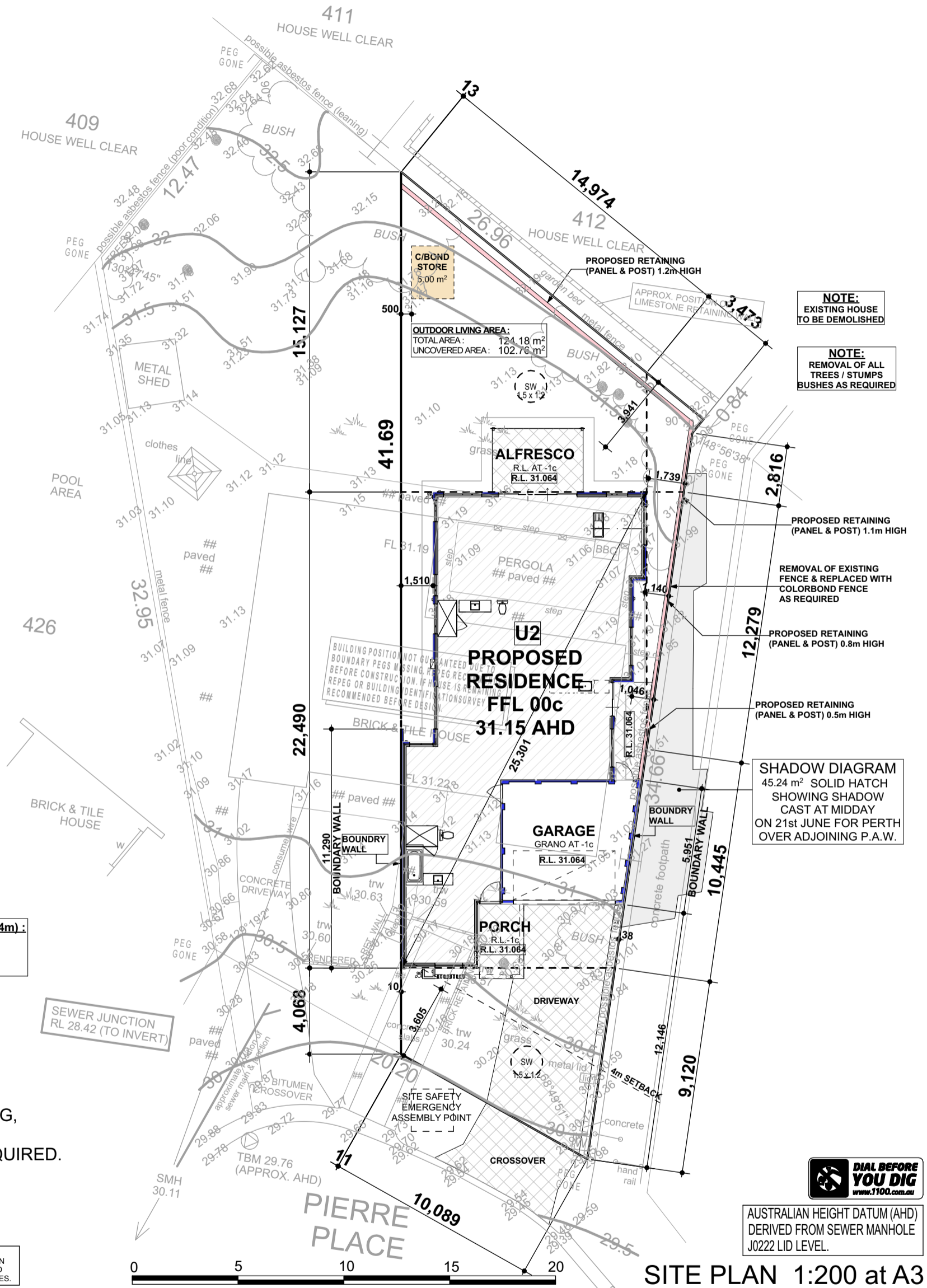
U2 - LANDSCAPING SETBACK AREA (4m):
TOTAL SETBACK AREA 41.81m²
PERVIOUS AREA = 22.30m²
IMPERVIOUS AREA = 19.51m²

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



NOTE: EXISTING HOUSE TO BE DEMOLISHED

NOTE: REMOVAL OF ALL TREES / STUMPS BUSHES AS REQUIRED

PROPOSED RETAINING (PANEL & POST) 1.1m HIGH

REMOVAL OF EXISTING FENCE & REPLACED WITH COLORBOND FENCE AS REQUIRED

PROPOSED RETAINING (PANEL & POST) 0.8m HIGH

PROPOSED RETAINING (PANEL & POST) 0.5m HIGH

SHADOW DIAGRAM 45.24 m² SOLID HATCH SHOWING SHADOW CAST AT MIDDAY ON 21st JUNE FOR PERTH OVER ADJOINING P.A.W.



AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE J0222 LID LEVEL.

SITE PLAN 1:200 at A3

SURVEYOR SITE INSPECTION REPORT

REF NO: 72703	FILE NO: 2459	DATE: 26.09.23	DRAWN: AC
ELECTRICITY: OVERHEAD	GAS: YES	PHONE: YES (not sighted)	WATER: YES (RHS)
SEWERAGE: YES, ABOUT 1.7m DEEP (TO INVERT)			
ROAD: HOTMIX			
KERB: MOUNTABLE (cracked)			
FOOTPATH: CONCRETE (P.A.W.)			
VEGETATION: ESTABLISHED GARDENS, TREES & PALMS			
SOIL: SAND			
VIEWS: NIL			
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA		

R. G. LESTER & ASSOCIATES
LICENSED LAND & ENGINEERING SURVEYORS
FIRST FLOOR EAST | 6 GIBBERD ROAD
BALCATT A | WA | 6021
PH: 9448 5009
admin@lestersurveys.com.au

NOTES

Block located more than 1 kilometre from the ocean.

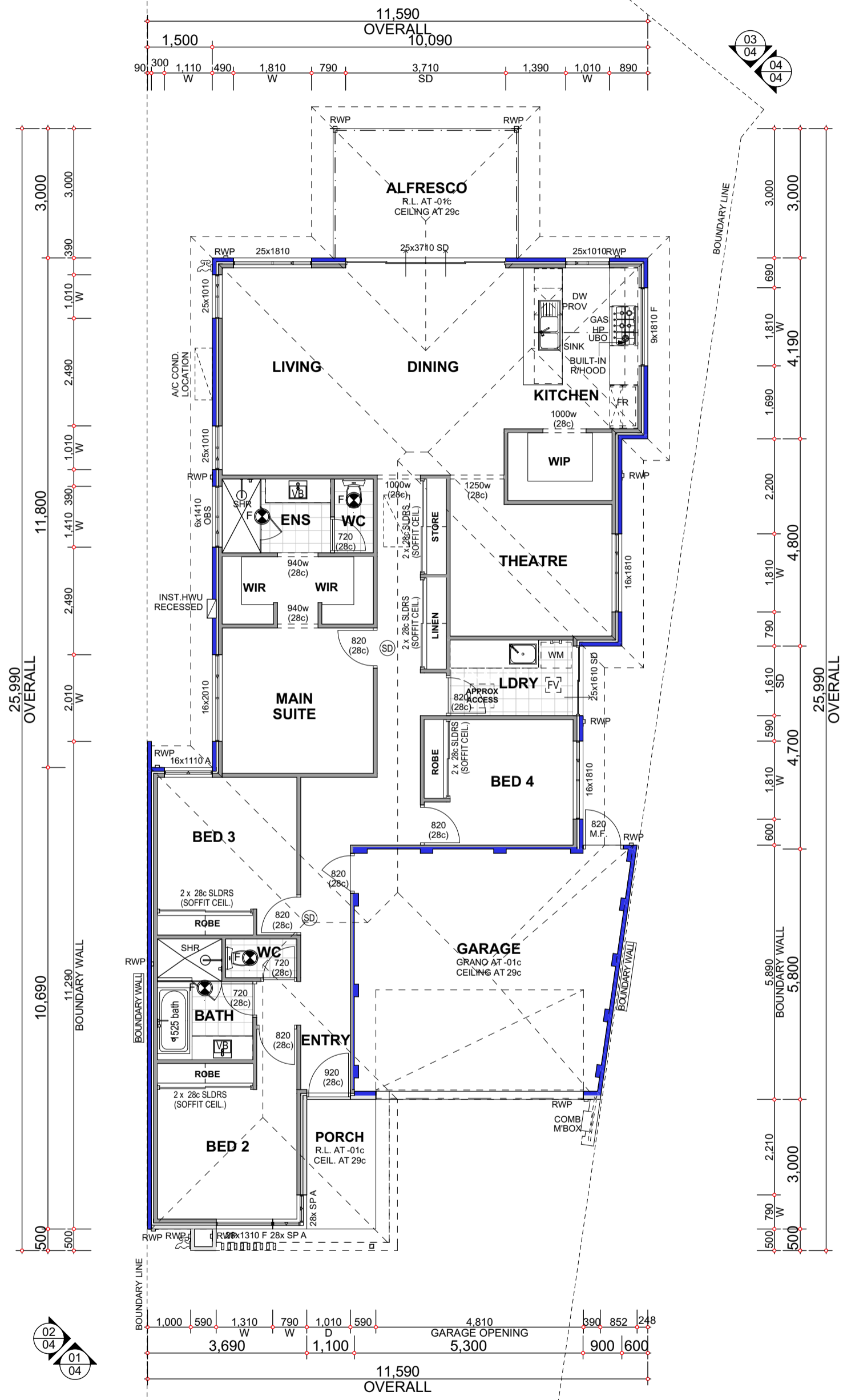
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[GD] GRATED DRAIN	[SV] STOP VALVE	[PLW] PRE-LAID WATER PIPE	[WM] WATER METER	[SM] SEWERAGE MANHOLE	[SIL] SEWERAGE INSPECTION LID		

BUILDER:	
CLIENT / S:	ZAMPOGNA
SITE ADDRESS:	LOT 425 (#12) PIERRE PLACE, PADBURY
Local Authority:	CITY OF JOONDALUP
TITLE DETAILS	JOB No:
LOT NOS: 425	C/T VOL: 1334
PLAN: 9938	FOL: 568
SURVEY JOB No: 72703	

NOTE:
 -230mm CAVITY DOUBLE BRICK
 -EXT. WALLS 2c FACE BRICK (162x290x90mm)
 -INT. WALLS PLASTERED 90mm BRICK
 -FRONT ELEVATION RENDER
 (EXTENT AS PER PLANS)
 -ALL STRUCTURAL TIMBER H2 TREATED (min)
 -RWP's INDICATIVE ONLY & FINAL POSITION
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NOTE:
 32c +PLATE CEILING
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 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK
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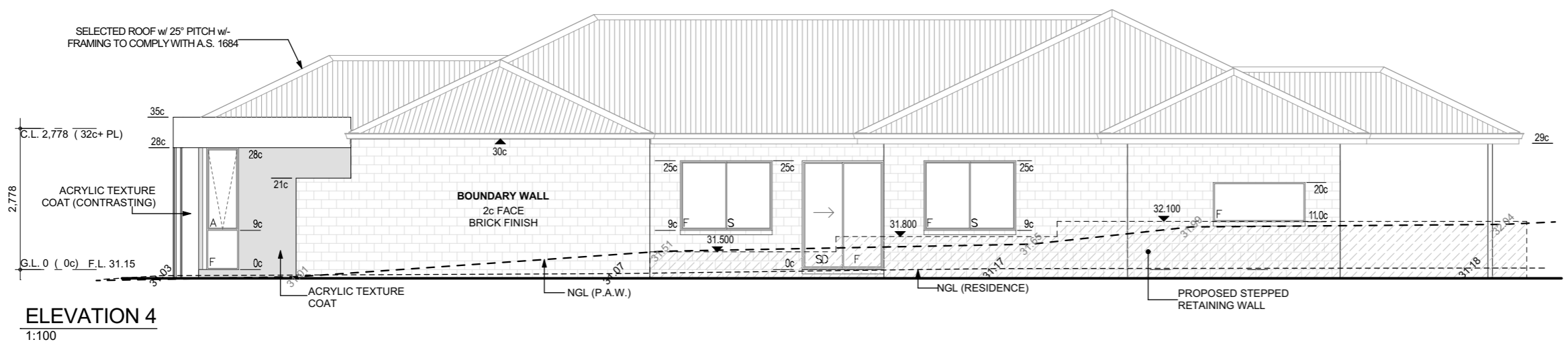
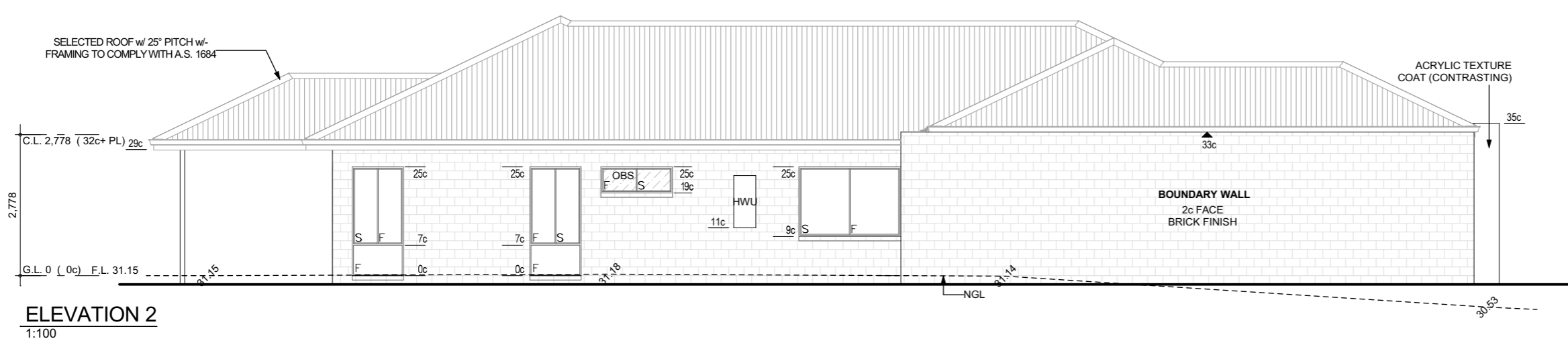
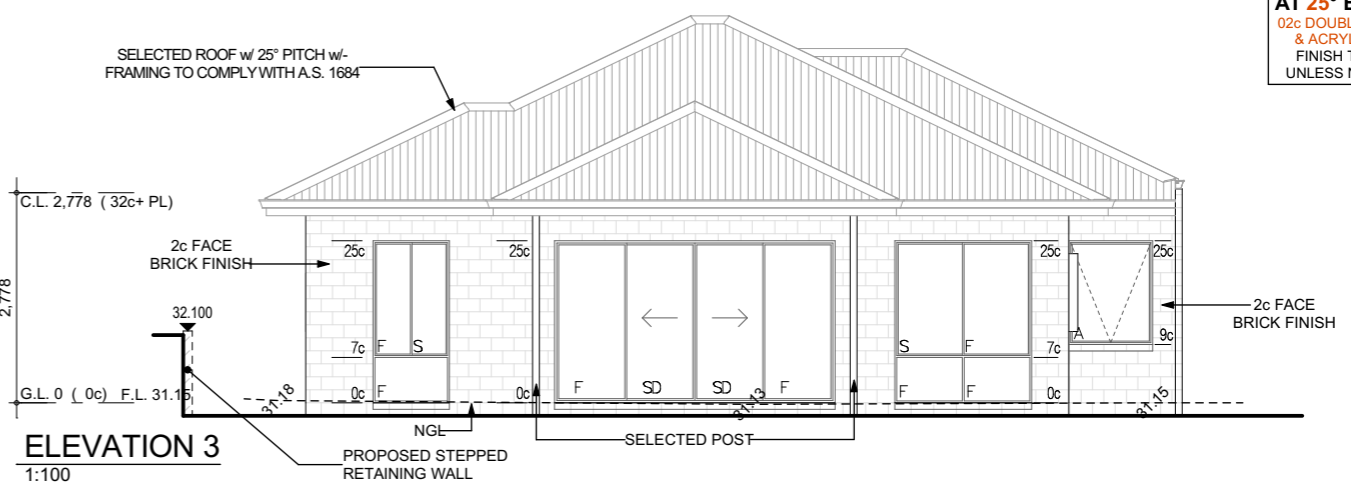
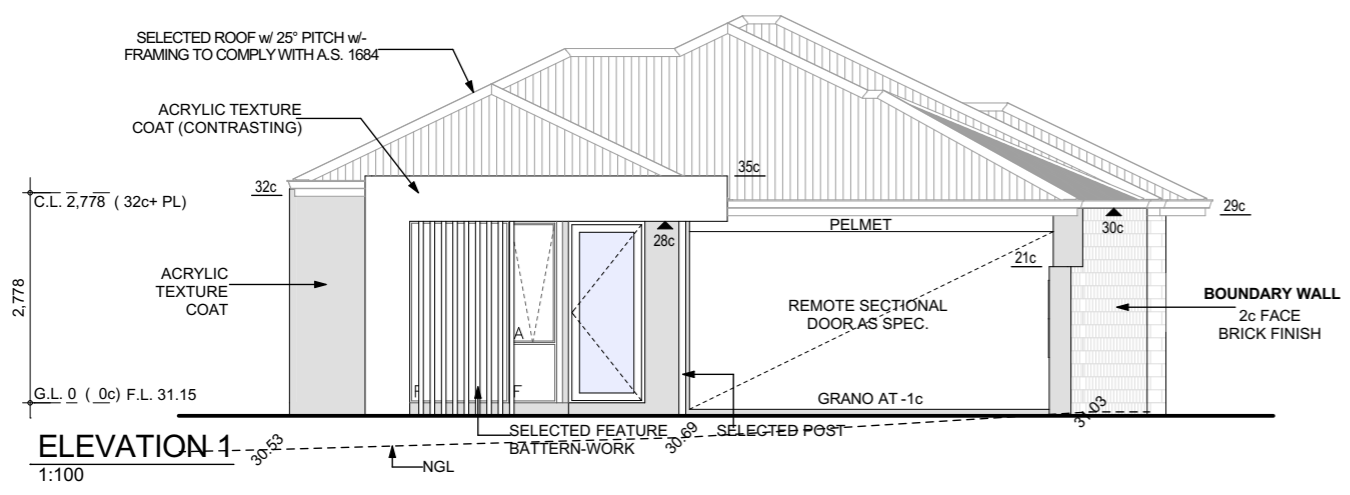


OWNER(S): Zappa Developments		PROJECT: ELITE SPECIFICATION Custom	
ADDRESS: U2 - LOT 425 (#12) PIERRE PLACE PADBURY		COUNCIL: JOONDALUP	
JOB NO: -	SHEET	03 of 05	REV No: 02
FLOOR PLAN	SCALE: 1:100		
OWNER	DATE	BUILDER	DATE
PERIM	68.16	GR. FLOOR AREA	169.89
REV	01	ALFRESCO	35.60
REV	02	PORCH	12.87
			7.35
		TOTAL AREA	225.71 m²

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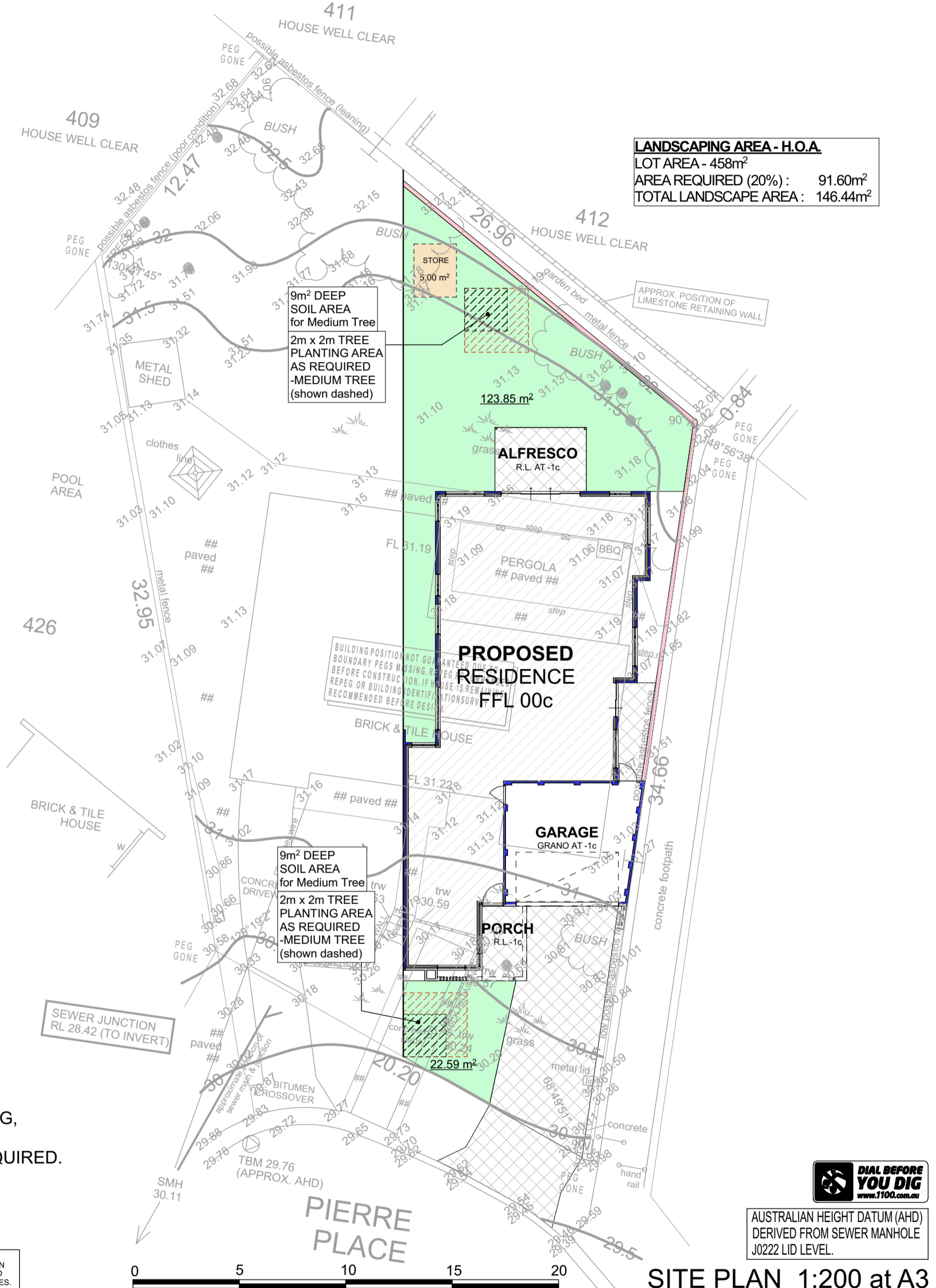
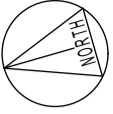
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COUNCIL: JOONDALUP				PROJECT: ELITE SPECIFICATION Custom				OWNER(S): Zappa Developments			
REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK	ADDRESS: U2 - LOT 425 (#12) PIERRE PLACE PADBURY	
01	PLANNING	LM	NOV'23	-						JOB NO: -	SHEET 02 of 05
02	AMEND	LM	DEC'23							LANDSCAPING PLAN	SCALE: 02
				OWNER..... DATE.....				REV No:			
				BUILDER..... DATE.....							

LOT No: 425

AREA : 941m²



LANDSCAPING AREA - H.O.A.	
LOT AREA - 458m ²	
AREA REQUIRED (20%) :	91.60m ²
TOTAL LANDSCAPE AREA :	146.44m ²

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

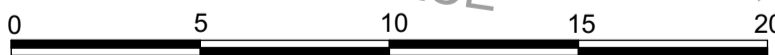
POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE J0222 LID LEVEL.



SITE PLAN 1:200 at A3

REF NO: 72703 FILE NO: 2459 DATE: 26.09.23 DRAWN: AC		R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS FIRST FLOOR EAST 6 GIBBERD ROAD BALCATT A WA 6021 PH: 9448 5009 admin@lestersurveys.com.au		NOTES Block located more than 1 kilometre from the ocean.		BUILDER:	
SURVEYOR SITE INSPECTION REPORT						CLIENT / S: ZAMPOGNA	
ELECTRICITY: OVERHEAD		GAS: YES				SITE ADDRESS:	
PHONE: YES (not sighted)		WATER: YES (RHS)				LOT 425 (#12) PIERRE PLACE, PADBURY	
SEWERAGE: YES, ABOUT 1.7m DEEP (TO INVERT)						Local Authority: CITY OF JOONDALUP	
ROAD: HOTMIX						TITLE DETAILS	
KERB: MOUNTABLE (cracked)						LOT NOS: 425 C/T VOL: 1334	
FOOTPATH: CONCRETE (P.A.W.)						PLAN: 9938 FOL: 568	
VEGETATION: ESTABLISHED GARDENS, TREES & PALMS						JOB No:	
SOIL: SAND						SURVEY JOB No: 72703	
VIEWS: NIL							
REPEG: REQUIRED		REPEG TYPE: OLD SURVEY AREA					

LEGEND			
[N] NBN PIT	[G] GAS	[T] TREE	[S] STOP VALVE
[T] TELECOM PIT	[H] HYDRANT	[*] PALM TREE	[W] PRE-LAID WATER PIPE
[C] COMMUNICATION PIT	[F] FENCE END	[●] TREE STUMP	[W] WATER METER
[P] POWER DOME	[X] PILLAR	[□] SIDE ENTRY PIT	[□] SEWERAGE MANHOLE
[P] POWER POLE	[trw] TOP OF RETAINING WALL	[○] DRAINAGE MANHOLE	[○] SEWERAGE INSPECTION LID
[S] STREET LAMP			