

3D's

CONSTELLATION HOMES

A: 3/15 DELAWNEY STREET BALCATTWA WA 6021
T: 1800 284 539
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DRAWN: BG

DATE: 10/01/2024

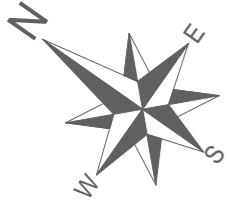
SCALE: 1:244.57 1:181.02 1:170.58 (UNO)

REVISIONS

CLIENT: **PAUL & MAUREEN SIMMONS**

ADDRESS: **LOT 1580 BEACHSIDE DRIVE
BURNS BEACH**

DESIGN LOT 1580



DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

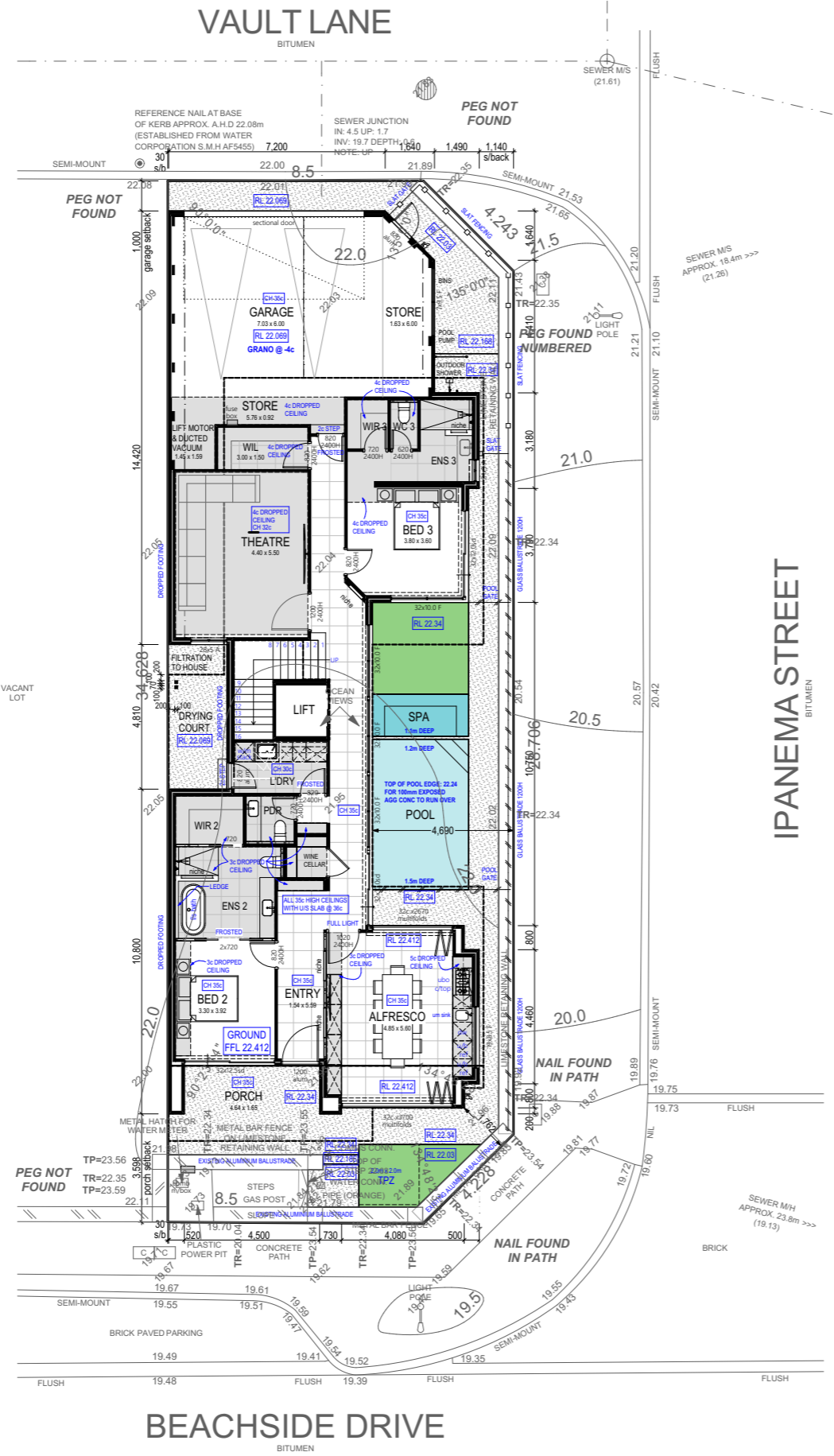
DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

BUSHFIRE ATTACK LEVEL - BAL12.5
 CONSTRUCTION TO COMPLY FULLY W/- AS3959-2009

NOTE:
 NOTIFICATION. REFER TO SEC 165 T.P.&D. ACT SEE DOCUMENT P391106 BUSHFIRE MANAGEMENT PLAN

NOTE:
 RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT P391105

LOT MISCLOSE
 0.001 m



IPANEMA STREET

VAULT LANE

BEACHSIDE DRIVE

PROPOSED SITE PLAN

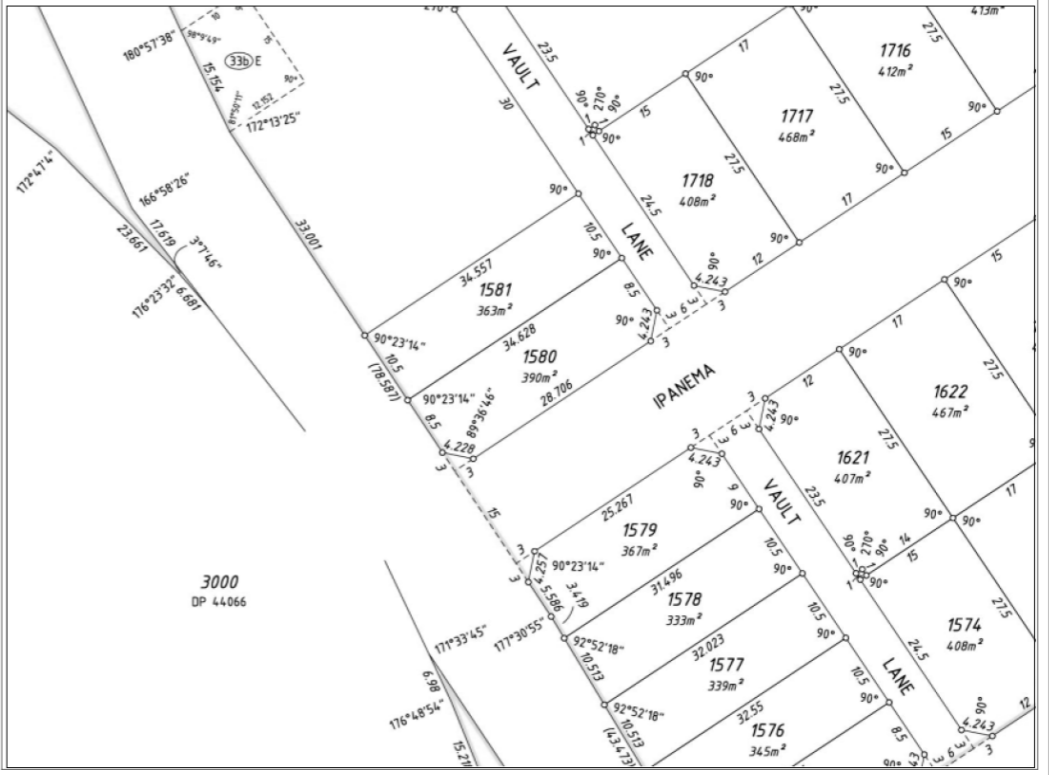
⊕	POWER DOME
⊖	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

Constellation Homes

CONTOUR & FEATURE SURVEY

LOT Lot 1580 (DP 423264)
 ADDRESS #152 Beachside Drive, Burns Beach
 LGA CITY OF JOONDALUP

GPS Lat: -31.721241 Long: 115.714571
 SSA Yes AREA 390m² VOL.4033 FOL.349



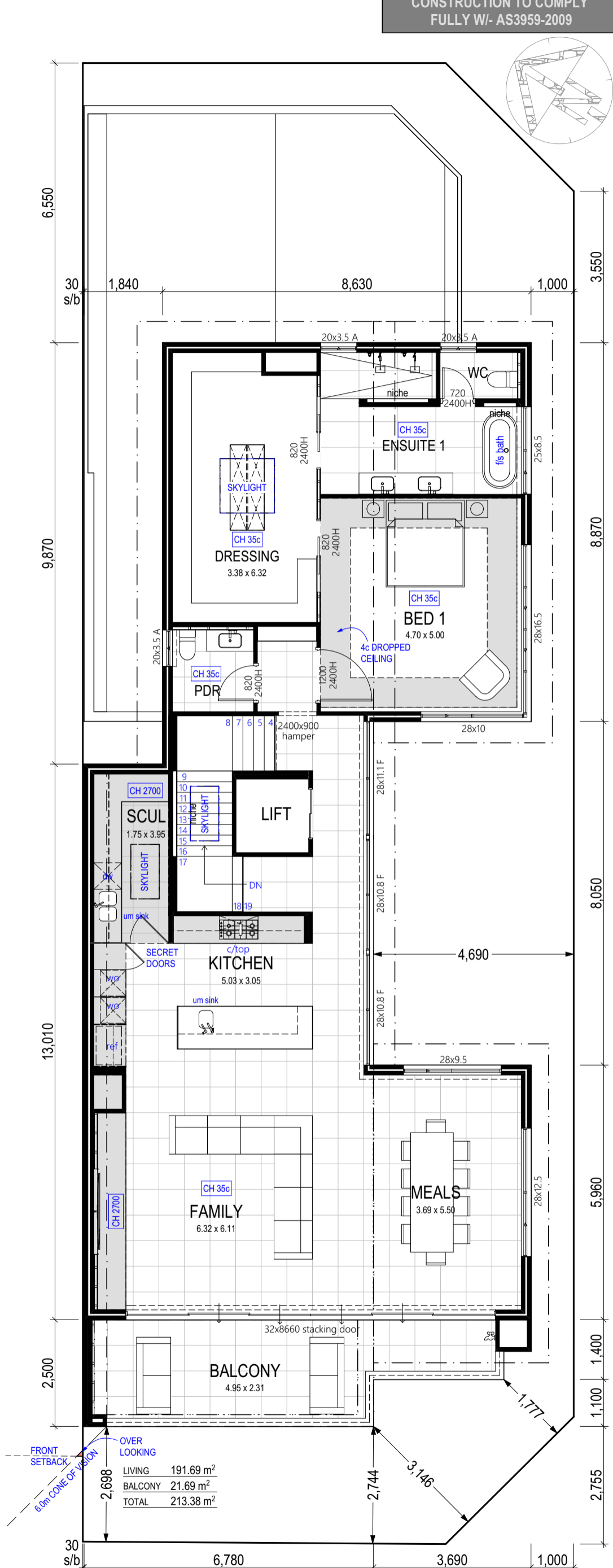
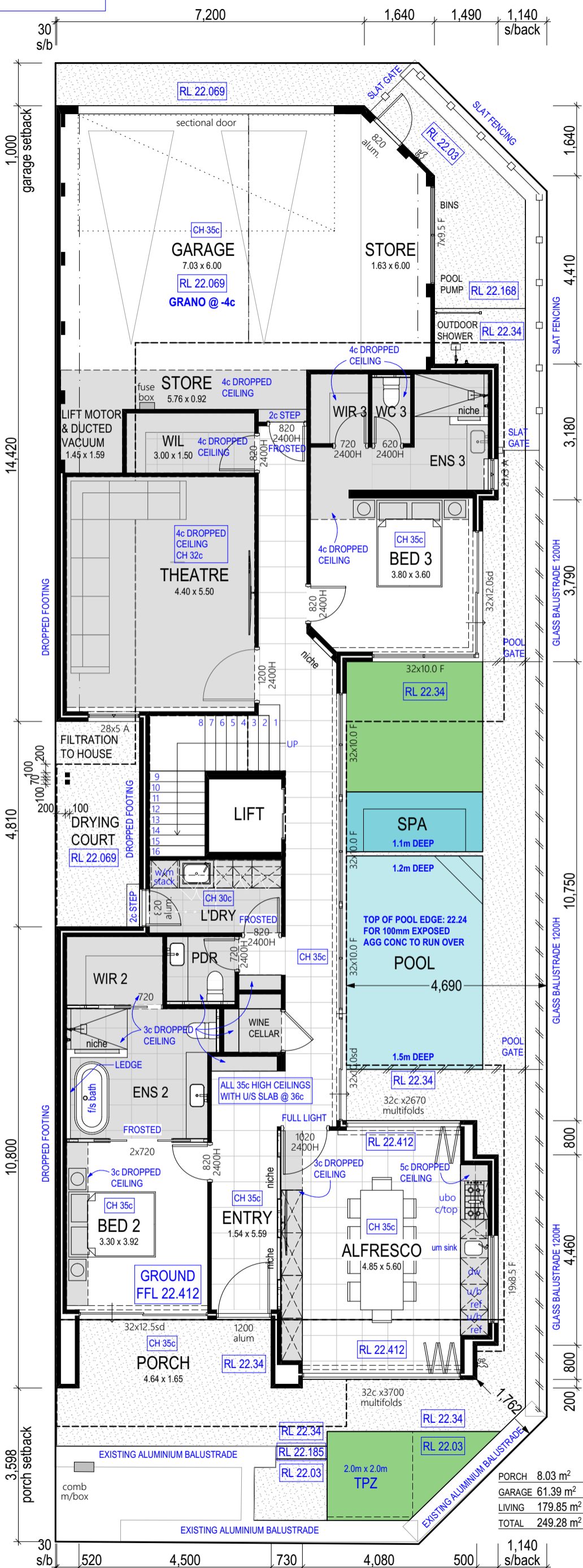
DESIGN

GROUND FLOOR

UPPER FLOOR

BUSHFIRE ATTACK LEVEL - BAL12.5

CONSTRUCTION TO COMPLY FULLY W/- AS3959-2009



PORCH	8.03 m ²
GARAGE	61.39 m ²
LIVING	179.85 m ²
TOTAL	249.28 m²

LIVING	191.69 m ²
BALCONY	21.69 m ²
TOTAL	213.38 m²

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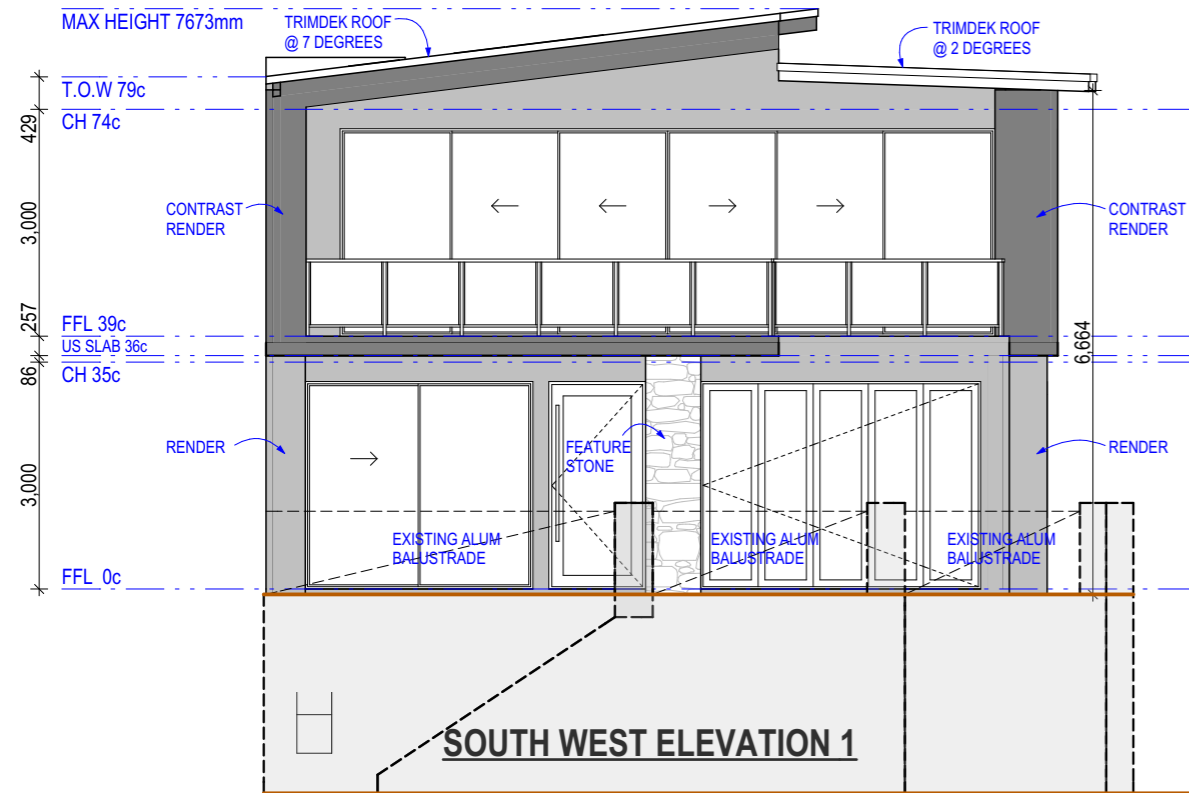
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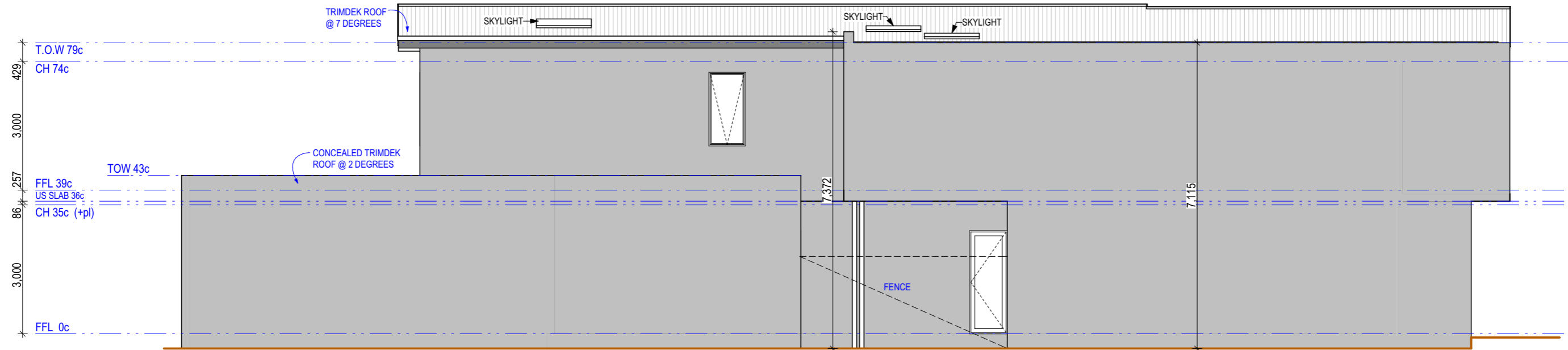
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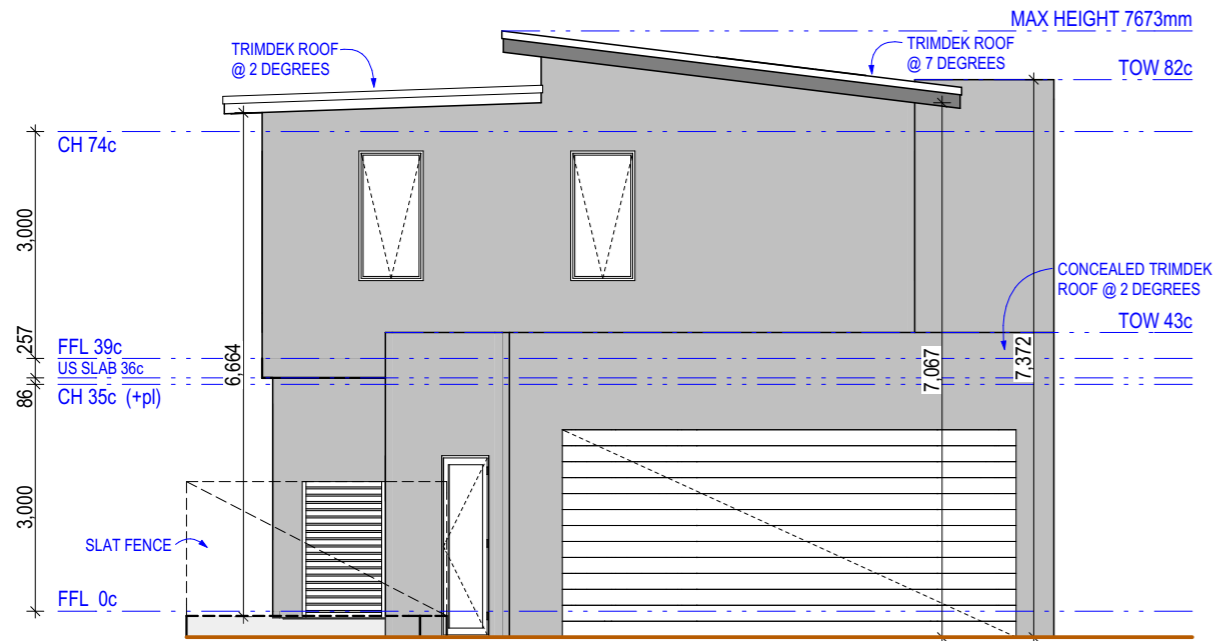


SOUTH WEST ELEVATION 1



NORTHWEST ELEVATION 2

NO.	DESCRIPTION



NORTHEAST ELEVATION 3



SOUTHEAST ELEVATION 4

ELEVATIONS

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