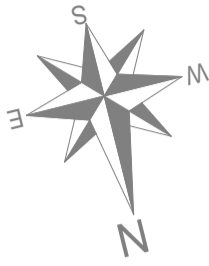


⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



**LOT MISCLOSE**  
0.003m

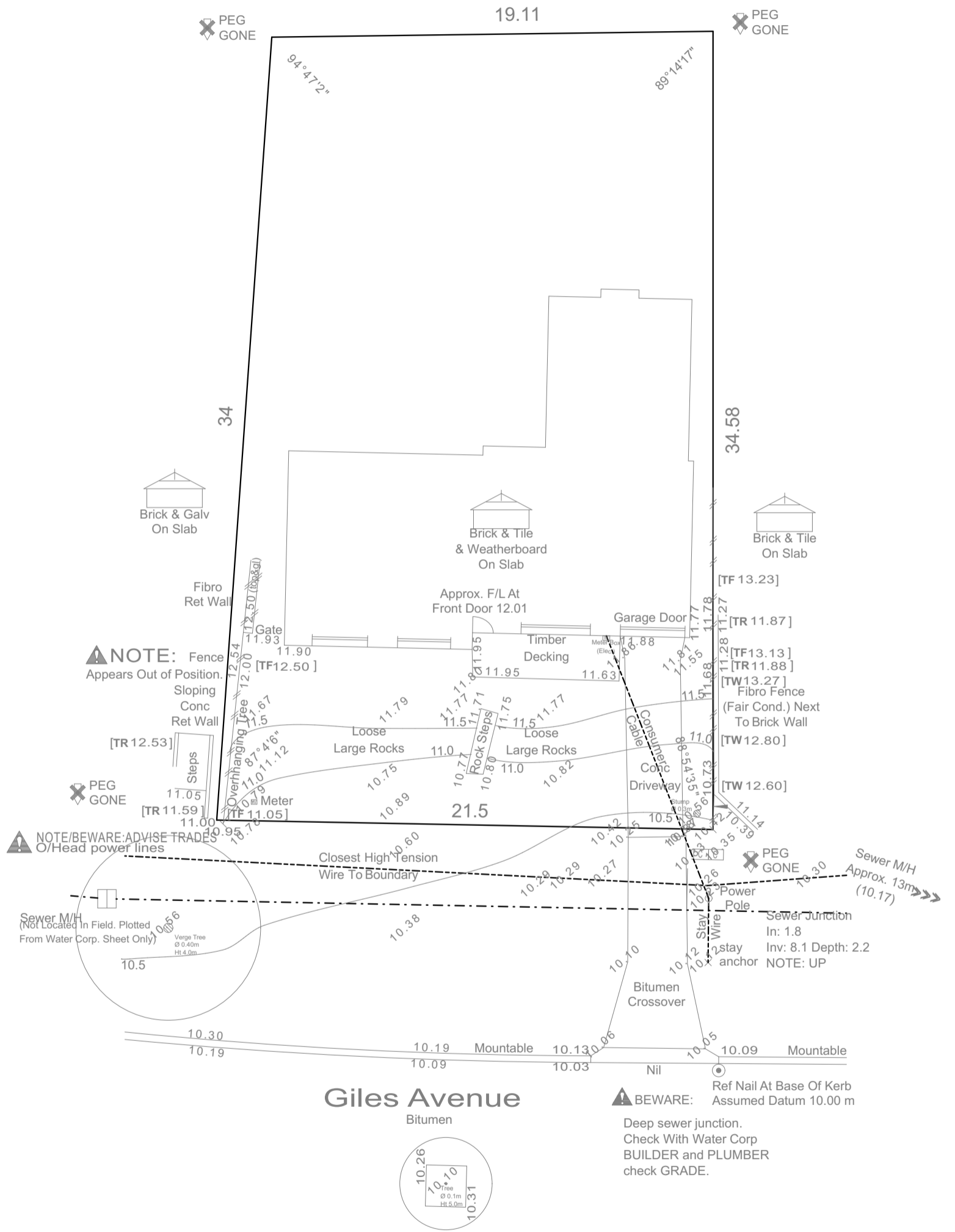
**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



**DISCLAIMER:**  
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

**EXISTING SITE PLAN**

**COTTAGE SURVEYS**

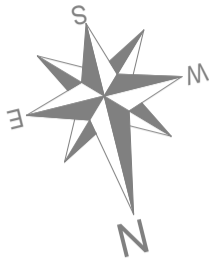
87-89 Guthrie Street  
Osborne Park, WA 6017  
PO Box 1611  
Osborne Park  
Business Centre WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

JOB #	510607	GPS	Lat: -31.806502 Long: 115.759510
CLIENT	Rechter, Philip	LOT	Lot 336 (Plan 10695)
ADDRESS	#24 Giles Avenue	AREA	695m <sup>2</sup>
SUBURB	Padbury	VOL.	1365
LGA	CITY OF JOONDALUP	FOL.	20
DRAWN	J. Jee	DATE	06 Oct 21
SSA No			

ROADS	Bitumen	ELEC.	O/Head
KERBS	Mountable	COMMS.	Yes
FOOTPATH	Nil	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Light Grass Cover	COASTAL	No

CLIENT:	E Mumme & J Rechter	AMENDMENTS:		SHEET No.	1 of 3
ADDRESS:	24 Giles Avenue	DATE:	01/06/2023	SCALE:	1:200
	PADBURY			JOB NO:	23-06

⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



**LOT MISCLOSE**  
0.003m

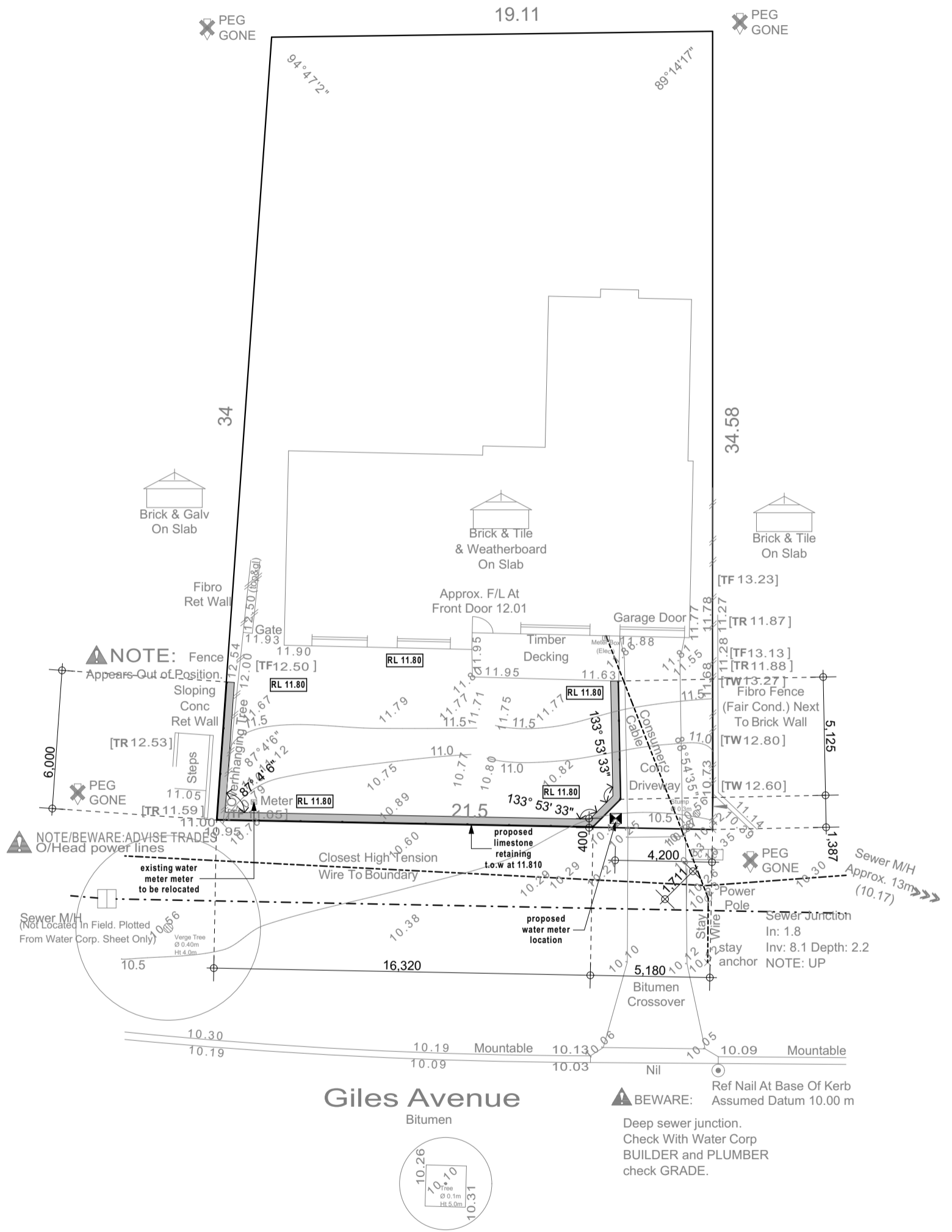
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**PROPOSED SITE PLAN**

**DISCLAIMER:**  
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

	87-89 Guthrie Street Osborne Park, WA 6017  PO Box 1611 Osborne Park Business Centre WA 6917  P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	JOB # 510607 CLIENT Rechter, Philip ADDRESS #24 Giles Avenue SUBURB Padbury LGA CITY OF JOONDALUP DRAWN J. Jee	GPS Lat: -31.806502 Long: 115.759510  LOT Lot 336 (Plan 10695)  AREA 695m <sup>2</sup> VOL. 1365 FOL.20 DATE 06 Oct 21 SSA No	ROADS Bitumen KERBS Mountable FOOTPATH Nil SOIL Sand DRAINAGE Good VEGETATION Light Grass Cover	ELEC. O/Head COMMS. Yes WATER Yes GAS Check Alinta SEWER Yes COASTAL No
	CLIENT: <b>E Mumme &amp; J Rechter</b> ADDRESS: <b>24 Giles Avenue PADBURY</b>		AMENDMENTS:		SHEET No. <b>2 of 3</b> SCALE: 1:200 JOB NO: 23-06



### Item 3: Local planning framework objectives:

- *“To protect and enhance the natural and built environment within the City.”*

The below image shows the use of walls along the property boundary by neighbouring properties. This shows that the construction of the retaining is in keeping with the built environment of the city and would improve the continuity between the properties from the street.



- *“To provide additional and more diverse housing to cater for an ageing population and changing household structures.”*

Access to the house has been improved by the addition of limestone stairs leading up to the front door. Previously the house only had uneven rock steps for access that impeded access to the property for some people.

- *“Encourage regeneration of older areas to provide opportunities for more diverse housing types and to upgrade physical infrastructure and improve amenity.”*

The primary purpose of the retaining wall is to upgrade the physical infrastructure. As the house was built on sloping ground over time the foundations of the house have shifted resulting cracks to appear in the walls. It is intended that the retaining wall will help prevent further shifting of the ground and minimise the extent of degradation on the house.

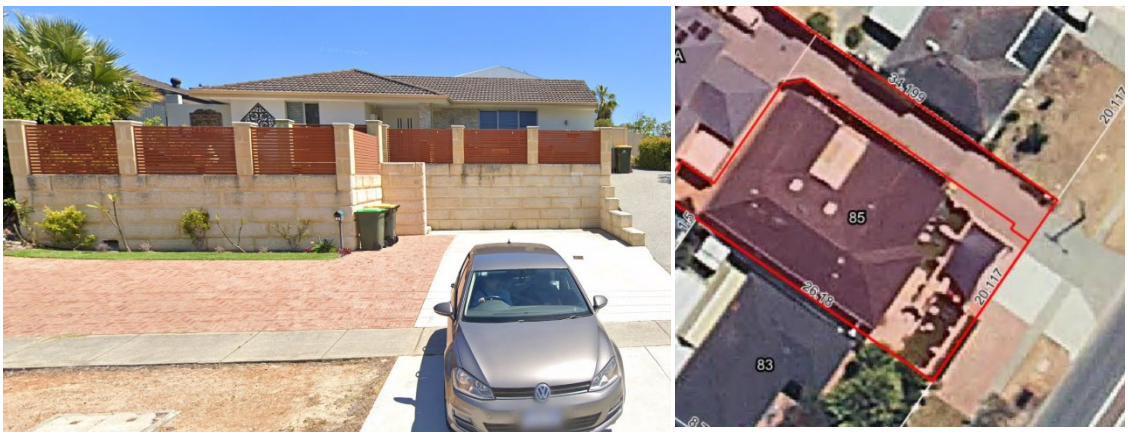
### Item 4: Common standard in the area

The below images show relevant examples of retaining walls in the surrounding area that fit a similar design specification of the proposed retaining wall. By considering these retaining walls it is evident that the proposed retaining wall is in keeping with the surrounding area and will not be detrimental to visual aesthetic of the neighbourhood.

70 Giles Ave, Padbury



85 Giles ave, Padbury



73 Giles ave, Padbury



Kind Regards,

Evan Mumme

A handwritten signature in black ink, appearing to read 'Evan Mumme', written in a cursive style.

5/12/2023