

# LOT 240

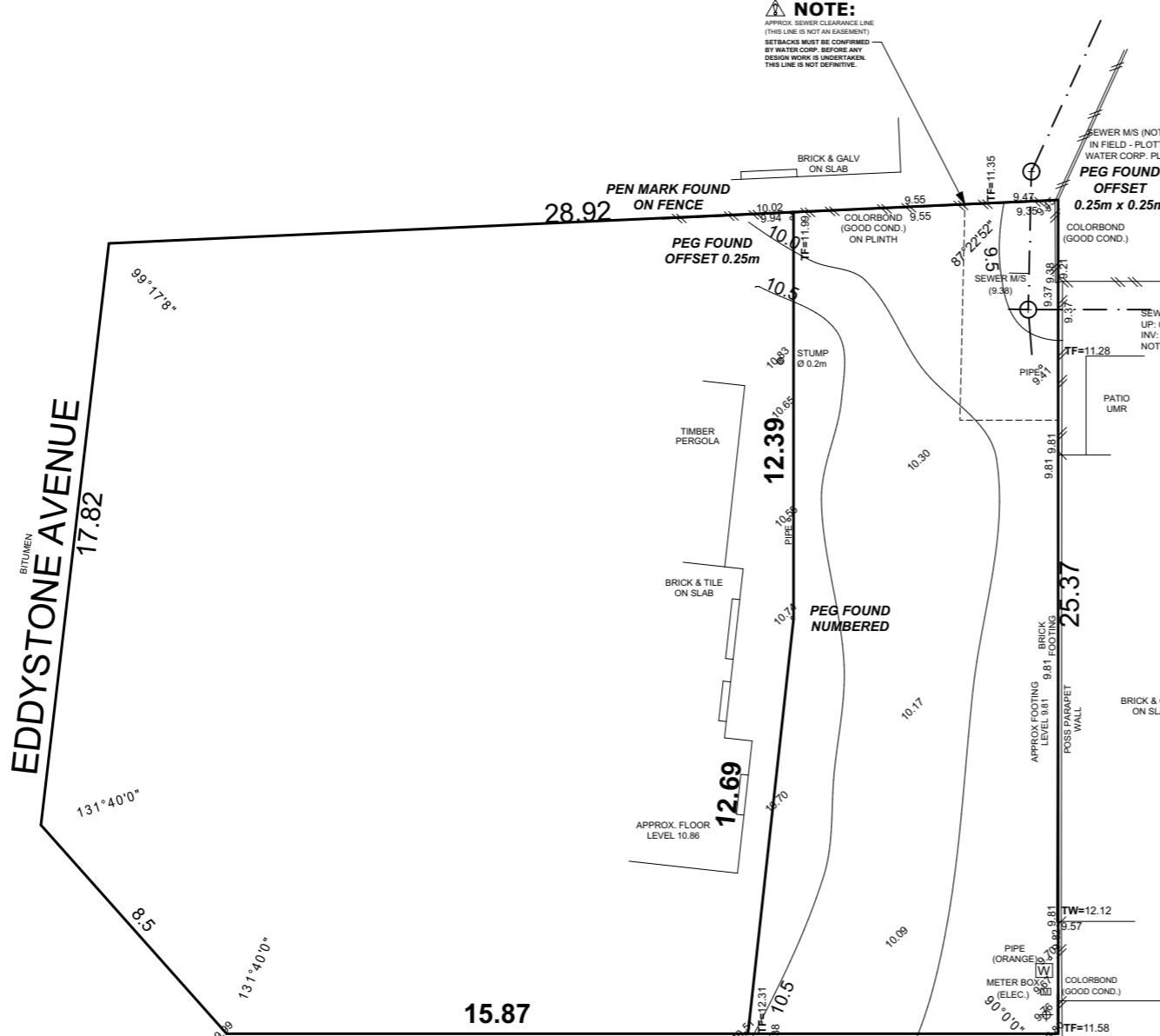
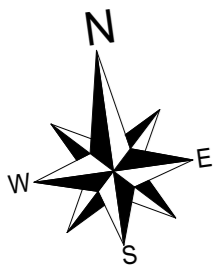
⊕	POWER DOME
⊖	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
⊕	TP=10.00 TOP PILLAR/POST
⊕	TW=10.00 TOP WALL
⊕	TR=10.00 TOP RETAINING
⊕	TF=10.00 TOP FENCE



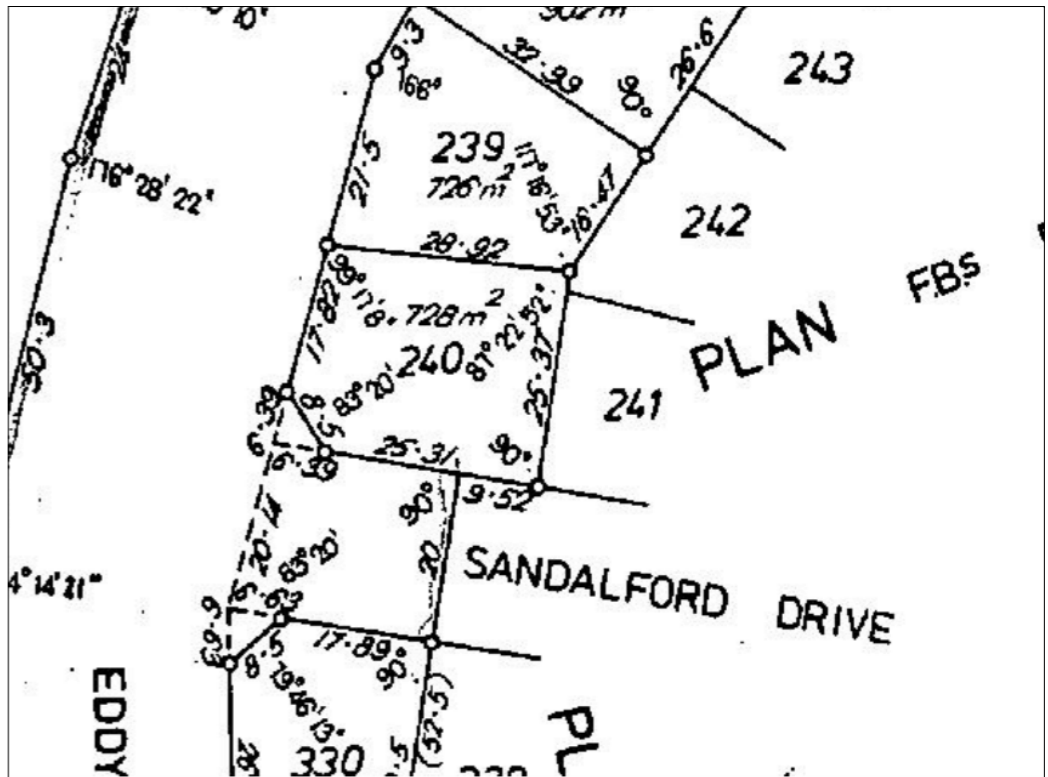
24 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
PO BOX 1407 OSBORNE PARK  
BUSINESS CENTRE WA 6916  
PHONE: 9201 7800  
FAX: 9444 5111  
EMAIL: Reception@newchoicehomes.com.au  
© COPYRIGHT 2023

## CONTOUR & FEATURE SURVEY

**LOT** Lot 240 (Plan 16327)  
**ADDRESS** #250 Eddystone Avenue, Beldon  
**LGA** CITY OF JOONDALUP  
**CLIENT** Timothy Bernard Otten & Jenae Lee Goudas  
**ORDER #** 23094  
**GPS** Lat: -31.771450 Long: 115.767527  
**SSA No** AREA 727m<sup>2</sup> VOL. 1808 FOL. 525



**NOTE:**  
APPROX SEWER CLEARANCE LINE  
(THIS LINE IS NOT AN EASEMENT)  
SETBACKS MUST BE CONFIRMED  
BY WATER CORP. BEFORE ANY  
DESIGN WORK IS UNDERTAKEN.  
THIS LINE IS NOT DEFINITIVE.



<b>ELEC.</b> U/Ground	<b>SEWER</b> Yes	<b>ROADS</b> Bitumen	<b>COASTAL</b> No <small>(Approx. Only - Confirm With Shire)</small>
<b>GAS</b> Check Alinta	<b>COMMS</b> Yes	<b>PATH</b> Concrete	<b>SOIL</b> Sand
<b>WATER</b> Yes	<b>DRAINAGE</b> Good	<b>KERBS</b> Semi-Mount	<b>VEG.</b> Refer to Survey

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**LOT MISCLOSE**  
0.002m

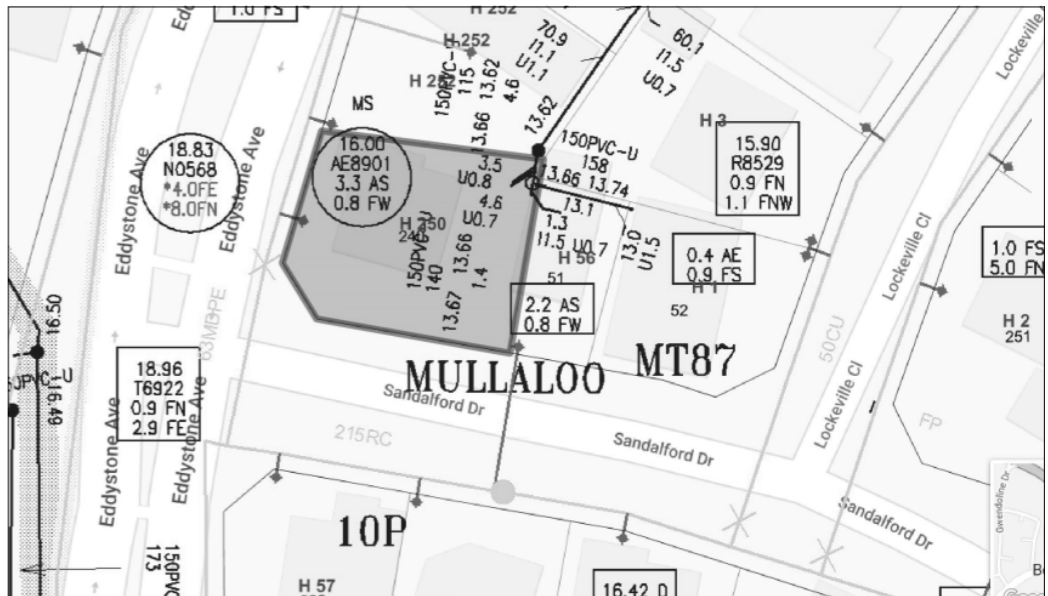


THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....  
OWNER 1.....  
OWNER 2.....  
BUILDER.....

DR	DATE	CHK	DESCRIPTION
IF	21/09/23	BP	PLANNING DRAWINGS
IF	28/11/23	JK	NEW SITE SURVEY

MODEL NAME: ESSENTIAL X  
**HARLEY**  
DWG: EXISTING SITE PLAN  
SCALE: 1:200  
JOB No: 23094  
SHEET No: 3 of 5



**COTTAGE SURVEYS**  
87-89 Guthrie St PO Box 1611 Osborne Park WA 6017  
Osborne Park BC WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au  
JOB: 559536 DATE: 06 Nov 23 DRAWN: J. Jee

# LOT 240

**CLIENT NOTE**  
F.F.L SHOWN ON PLAN MAY VARY TO WITHIN 50mm EITHER WAY

WHERE A BOUNDARY WALL IS INCLUDED, THE CLIENT IS TO OBTAIN  
A) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO REMOVE ANY EXISTING FENCE(S)  
B) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO ENTER ADJOINING PROPERTIES TO CONSTRUCT NEW BOUNDARY WALLS

COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

**SUPERVISOR NOTE**  
PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.

**EARTHWORKS NOTE**  
REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION

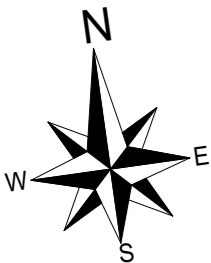
ALL DEMOLITION WORKS BY OWNER ARE TO BE COMPLETED TO THE BUILDERS TIME SCHEDULE

**CONCRETOR NOTE**  
ALL EXTERNAL CAVITY WALLS TO BE 2c CAVITY BRICKWORK (230mm); UNLESS NOTED OTHERWISE

TOP OF FOOTING TO BE AT -3c TO GARAGE AS SHOWN ON PLAN

**BRICKPAVING NOTE**  
BRICKPAVING AS PER ADDENDA FROM THE CARPORT / GARAGE APPROX 300mm DEEP

**DOWNPIPE NOTE**  
LOCATION OF DOWNPIPES IS AN INDICATION ONLY. BUILDERS DISCRETION EXCEPTED.



**OUTDOOR LIVING CALCULATIONS**

**SITE ZONING-R40 (HOA 7)**

Outdoor Living Area	32.2m <sup>2</sup>
Council Required	20m <sup>2</sup>
Uncovered Open Space	18.31m <sup>2</sup>
Council Required	13.2m <sup>2</sup>

**SITE ZONING-R40 (HOA 7)**

**CITY OF JOONDALUP**

Area of Site	212m <sup>2</sup>
Area of Building	115.23m <sup>2</sup>
<b>SITE COVERAGE</b>	<b>54.35%</b>
Allowed Coverage	55%

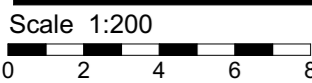
**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**LOT MISCLOSE**  
0.002m



**EDDYSTONE AVENUE**  
BITUMEN  
17.82

131°40'00"

8.5

131°40'00"

15.87

9.44

9.97

10.03

10.08

10.10

10.18

10.24

10.30

10.36

10.42

10.48

10.54

10.60

10.66

10.72

10.78

10.84

10.90

10.96

11.02

11.08

11.14

11.20

11.26

11.32

11.38

11.44

11.50

11.56

11.62

11.68

11.74

11.80

11.86

11.92

11.98

12.04

12.10

12.16

12.22

12.28

12.34

12.40

12.46

12.52

12.58

12.64

12.70

12.76

12.82

12.88

12.94

13.00

13.06

13.12

13.18

13.24

13.30

13.36

13.42

13.48

13.54

13.60

13.66

13.72

13.78

13.84

13.90

13.96

14.02

14.08

14.14

14.20

14.26

14.32

14.38

14.44

14.50

14.56

14.62

14.68

14.74

14.80

14.86

14.92

14.98

15.04

15.10

15.16

15.22

15.28

15.34

15.40

15.46

15.52

15.58

15.64

15.70

15.76

15.82

15.88

15.94

16.00

16.06

16.12

16.18

16.24

16.30

16.36

16.42

16.48

16.54

16.60

16.66

16.72

16.78

16.84

16.90

16.96

17.02

17.08

17.14

17.20

17.26

17.32

17.38

17.44

17.50

17.56

17.62

17.68

17.74

17.80

17.86

17.92

17.98

18.04

18.10

18.16

18.22

18.28

18.34

18.40

18.46

18.52

18.58

18.64

18.70

18.76

18.82

18.88

18.94

19.00

19.06

19.12

19.18

19.24

19.30

19.36

19.42

19.48

19.54

19.60

19.66

19.72

19.78

19.84

19.90

19.96

20.02

20.08

20.14

20.20

20.26

20.32

20.38

20.44

20.50

20.56

20.62

20.68

20.74

20.80

20.86

20.92

20.98

21.04

21.10

21.16

21.22

21.28

21.34

21.40

21.46

21.52

21.58

21.64

21.70

21.76

21.82

21.88

21.94

22.00

22.06

22.12

22.18

22.24

22.30

22.36

22.42

22.48

22.54

22.60

22.66

22.72

22.78

22.84

22.90

22.96

23.02

23.08

23.14

23.20

23.26

23.32

23.38

23.44

23.50

23.56

23.62

23.68

23.74

23.80

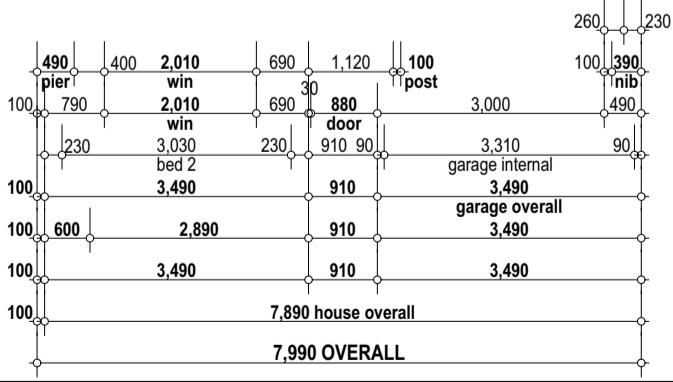
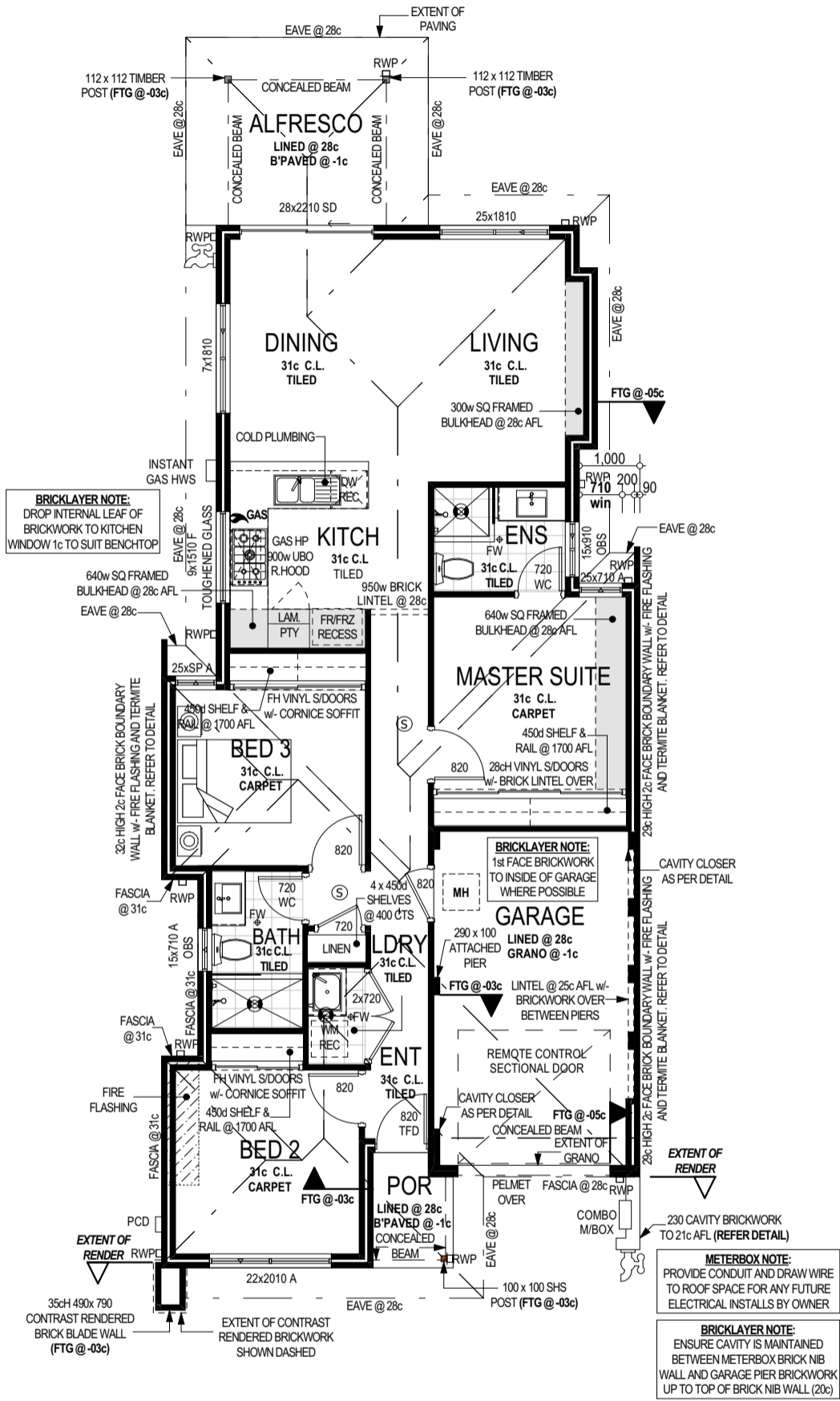
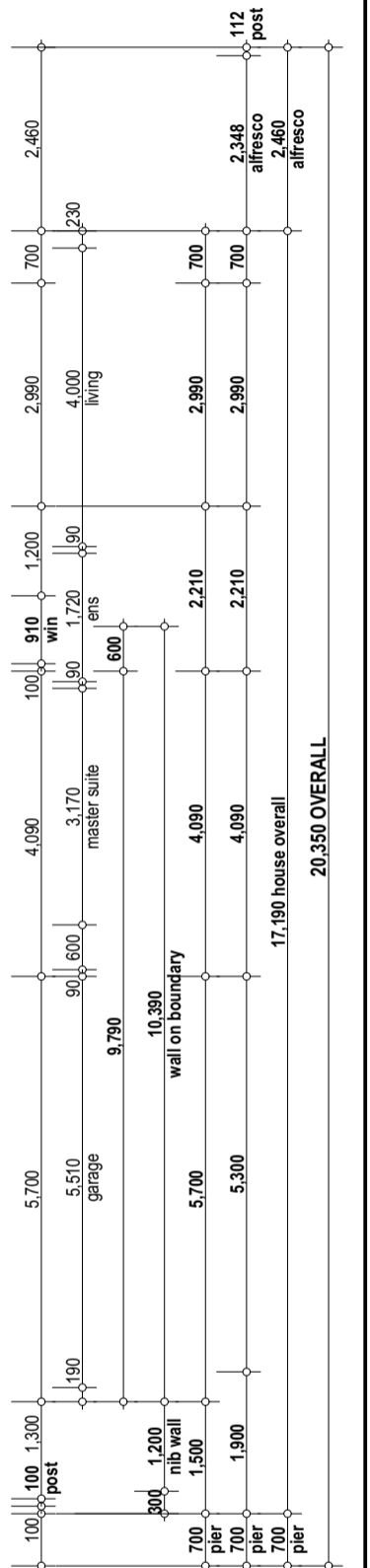
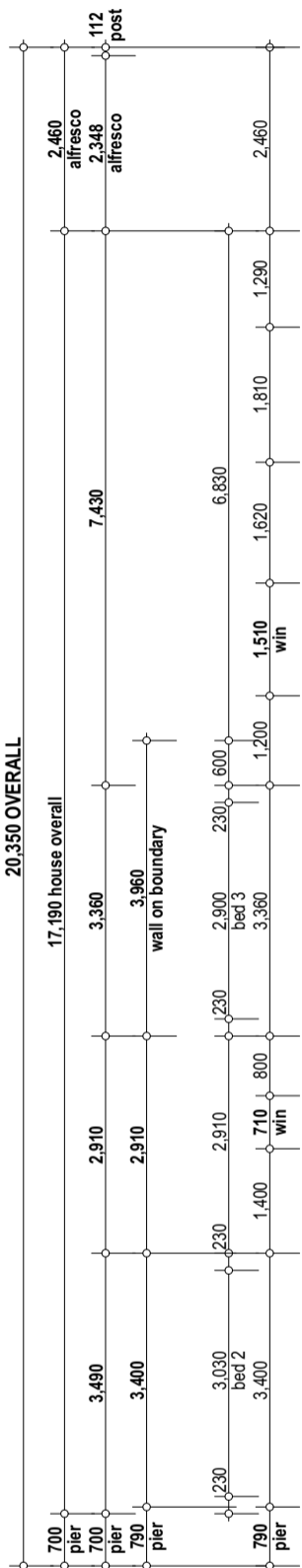
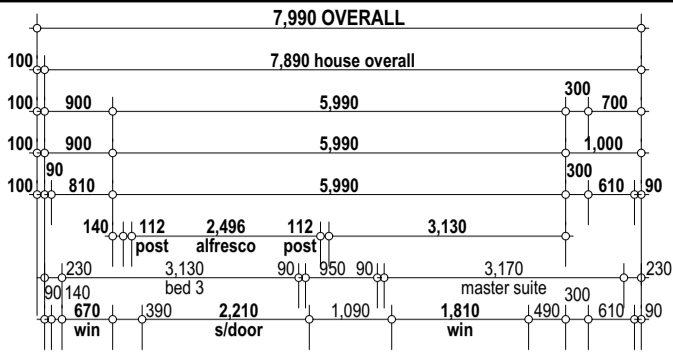
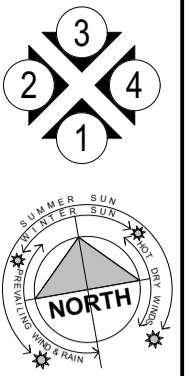
23.86

23.92

23.98

24.04

**AMENDED  
DATE: 24 Jan 24**



**NOTES:**

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS.

ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQUIREMENTS.

**SITE CLASS A  
WIND CLASS N1  
CORROSION CLASS R3**

ALL DIMENSIONS ARE NOMINAL ONLY.

**ALL TRADES NOTE:**  
PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.  
REFER TO ENGINEERS PLANS FOR STRUCTURAL SPECIFICATIONS & ROOF BEAMS LAYOUT.

**NOTE**  
PLEASE REFER TO THE GENERAL NOTES PAGE FOR ALL NOTES REFERRING TO CONSTRUCTION & CERTIFICATION

- ⊙ H. WIRED SMOKE DETECTOR
- ⊙ EXHAUST FAN FLUMED
- ⊙ GAS BAYONET
- ⊙ GAS CONNECTION POINT
- ⊙ FW GAS WASTE

**RENDER NOTE:**  
PROVIDE RENDER TO FRONT ELEVATION ONLY. REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK. EXTENTS SHOWN ON ELEVATIONS.

**NEW CHOICE HOMES**  
24 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
PO BOX 1407 OSBORNE PARK  
BUSINESS CENTRE WA 6916  
PHONE: 9201 7800  
FAX: 9444 5111  
EMAIL: Reception@newchoicehomes.com.au  
© COPYRIGHT 2023

CLIENT:  
**OTTEN & GOUDAS**

SITE ADDRESS:  
**LOT 240 (#250) EDDYSTONE AVE  
BELDON  
CITY OF JOONDALUP**

NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....

OWNER 1.....

OWNER 2.....

BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
IF	21/09/23	BP	PLANNING DRAWINGS
IF	28/11/23	JK	NEW SITE SURVEY
IF	19/01/24	IF	CONT. CHECK

Zone	AREAS	
	Area	Perimeter
GROUND FLOOR	95.81	51.96
GARAGE	19.83	18.56
ALFRESCO	12.40	14.20
POR	2.34	6.44
<b>130.38 m<sup>2</sup></b>		

FLOOR	PITCH	AREA
GROUND FLOOR	24° 43' 0"	139.62
<b>139.62 m<sup>2</sup></b>		

MODEL NAME: ESSENTIAL X

**HARLEY**

DWG: **GROUND FLOOR PLAN**

SCALE: **1:100**

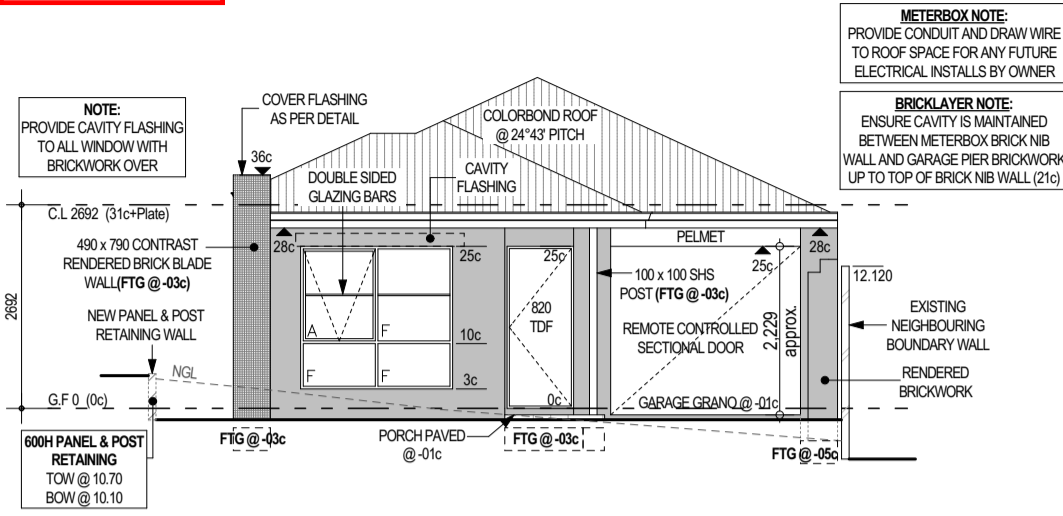
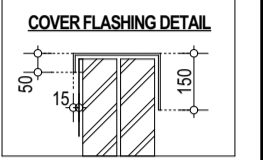
JOB No: **23094**

SHEET No: **1 of 5**

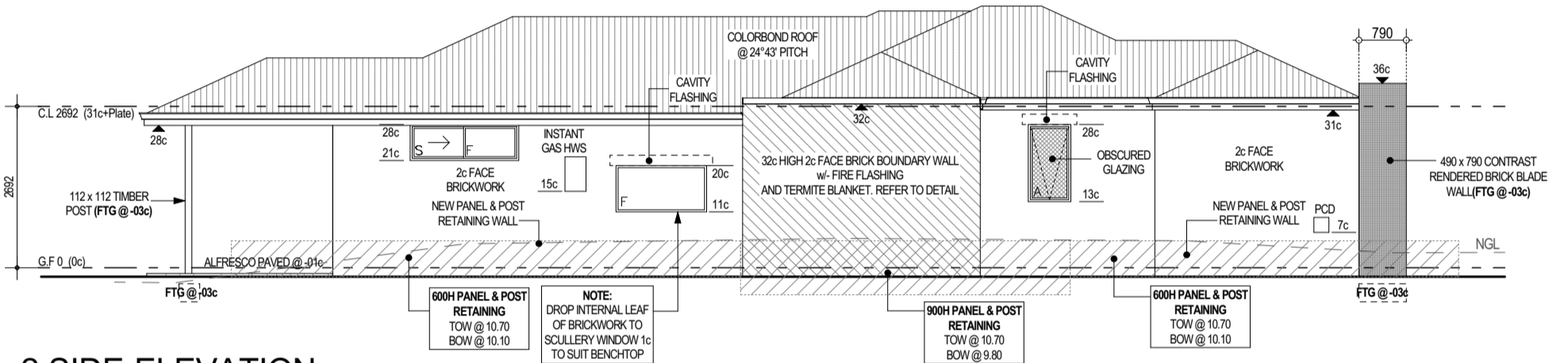
**AMENDED  
DATE: 24 Jan 24**

**NOTE:**  
 - ROOF PITCH 24°43'  
 - ROOF COVER: COLORBOND  
 - CONVENTIONAL TIMBER ROOF FRAMING IN ACCORDANCE WITH N.C.C. PART 3.4.3, A.S. 1684 & ENGINEERING ADVICE.  
 - ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH THE N.C.C.

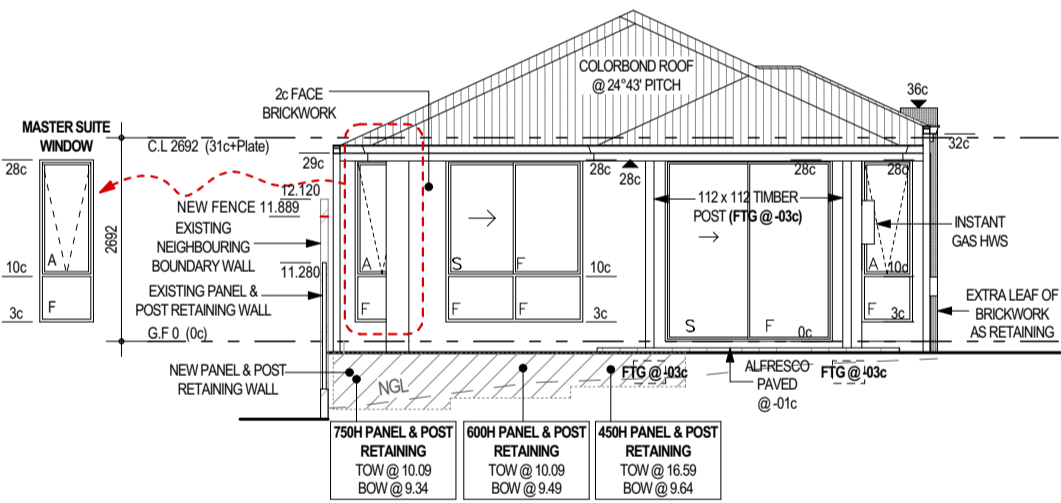
**SHADING INDICATES EXTENT OF RENDER TO FRONT ELEVATION (INCLUDING RETURNS). REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK**



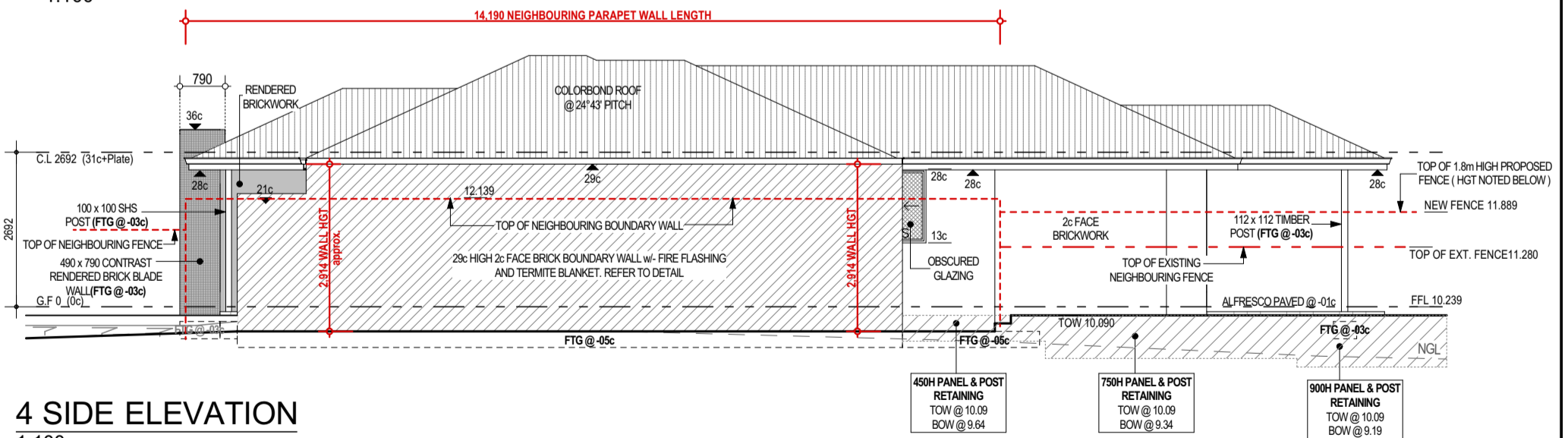
**1 FRONT ELEVATION**  
1:100



**2 SIDE ELEVATION**  
1:100



**3 REAR ELEVATION**  
1:100



**4 SIDE ELEVATION**  
1:100

**New Choice HOMES**  
 24 SANGIORGIO COURT  
 OSBORNE PARK WA 6017  
 PO BOX 1407 OSBORNE PARK  
 BUSINESS CENTRE WA 6916  
 PHONE: 9201 7800  
 FAX: 9444 5111  
 EMAIL: Reception@newchoicehomes.com.au  
 © COPYRIGHT 2023

CLIENT:  
**OTTEN & GOUDAS**  
 SITE ADDRESS:  
**LOT 240 (#250) EDDYSTONE AVE  
 BELDON  
 CITY OF JOONDALUP**  
 NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:  
 DATE.....  
 OWNER 1.....  
 OWNER 2.....  
 BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
IF	21/09/23	BP	PLANNING DRAWINGS
IF	28/11/23	JK	NEW SITE SURVEY
IF	19/01/24	IF	CONT. CHECK

AREAS		
Zone	Area	Perimeter
GROUND FLOOR	95.81	51.96
GARAGE	19.83	18.56
ALFRESCO	12.40	14.20
POR	2.34	6.44
<b>130.38 m²</b>		
ROOF AREAS		
FLOOR	PITCH	AREA
GROUND FLOOR	24° 43' 0"	139.62
		<b>139.62 m²</b>

MODEL NAME: ESSENTIAL X  
**HARLEY**  
 DWG:  
**ELEVATIONS**  
 SCALE:  
 1:100, 1:20  
 JOB No:  
**23094**  
 SHEET No:  
 2 of 5

# LOT 240

**AMENDED  
DATE: 24 Jan 24**

**11. TREE CANOPY AND DEEP SOIL AREA  
- LANDSCAPE AREA**

(11.1) TOTAL LOT AREA = 212m<sup>2</sup>

MIN LANDSCAPE AREA REQ'D 20% = 42.40m<sup>2</sup>  
TOTAL LANDSCAPE AREA ACHIEVED = 36.19m<sup>2</sup> (16.12%)

ADDITIONAL LANDSCAPE AREAS <1.5m = 14.39m<sup>2</sup>.

**13. TREE CANOPY AND DEEP SOIL AREAS  
- TREES**

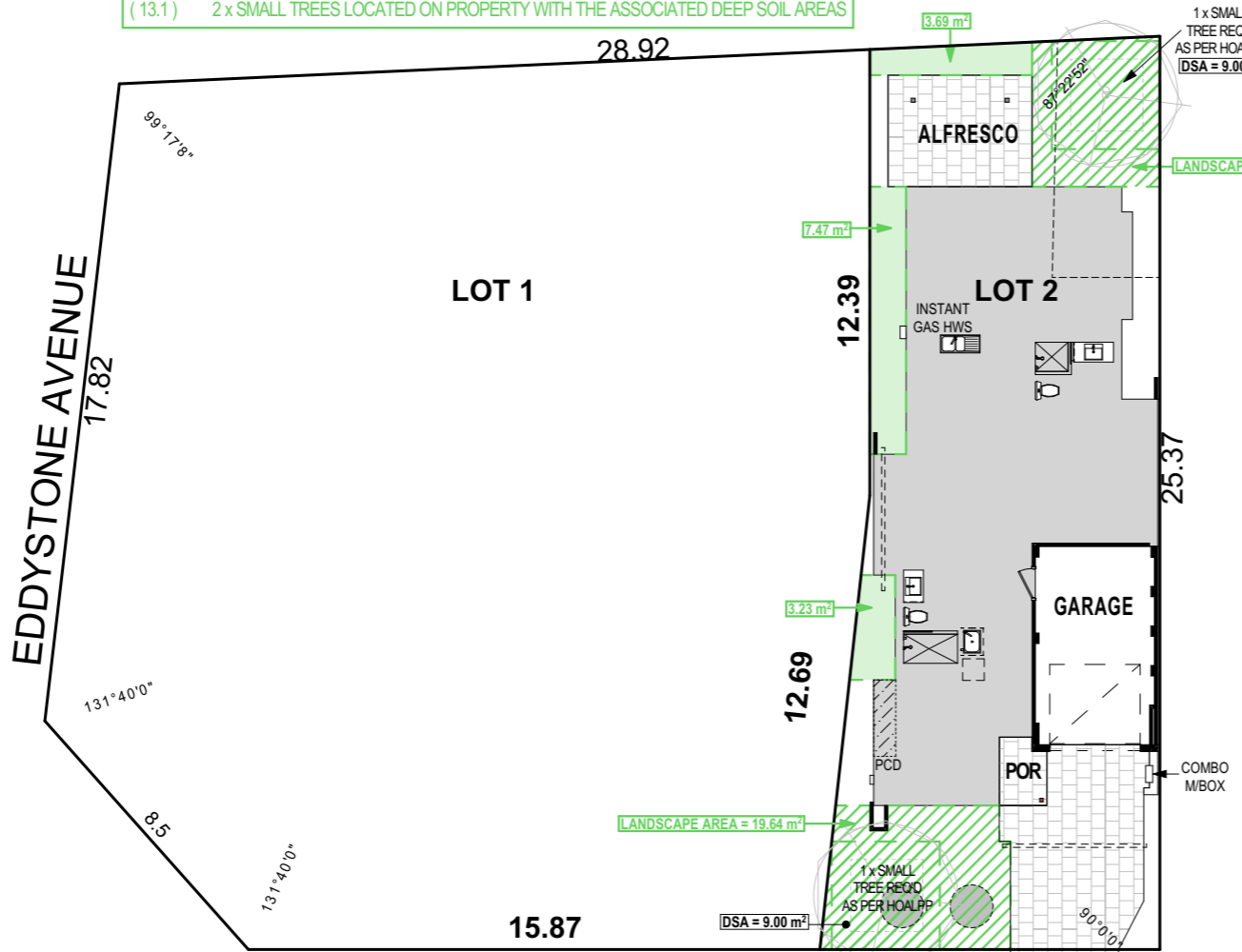
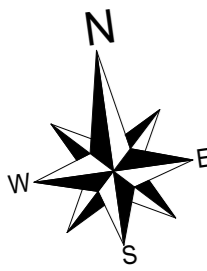
(13.1) 2x SMALL TREES LOCATED ON PROPERTY WITH THE ASSOCIATED DEEP SOIL AREAS

⊕	POWER DOME
⊖	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN.
⊕	TP=10.00 TOP PILLAR/POST
⊕	TW=10.00 TOP WALL
⊕	TR=10.00 TOP RETAINING
⊕	TF=10.00 TOP FENCE

**New Choice**  
HOMES  
24 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
PO BOX 1407 OSBORNE PARK  
BUSINESS CENTRE WA 6916  
PHONE: 9201 7800  
FAX: 9444 5111  
EMAIL: Reception@newchoicehomes.com.au  
© COPYRIGHT 2023

## CONTOUR & FEATURE SURVEY

**LOT** Lot 240 (Plan 16327)  
**ADDRESS** #250 Eddystone Avenue, Beldon  
**LGA** CITY OF JOONDALUP  
**CLIENT** Timothy Bernard Otten & Jenae Lee Goudas  
**ORDER #** 23094  
**GPS** Lat: -31.771450 Long: 115.767527  
**SSA No** AREA 727m<sup>2</sup> VOL. 1808 FOL. 525

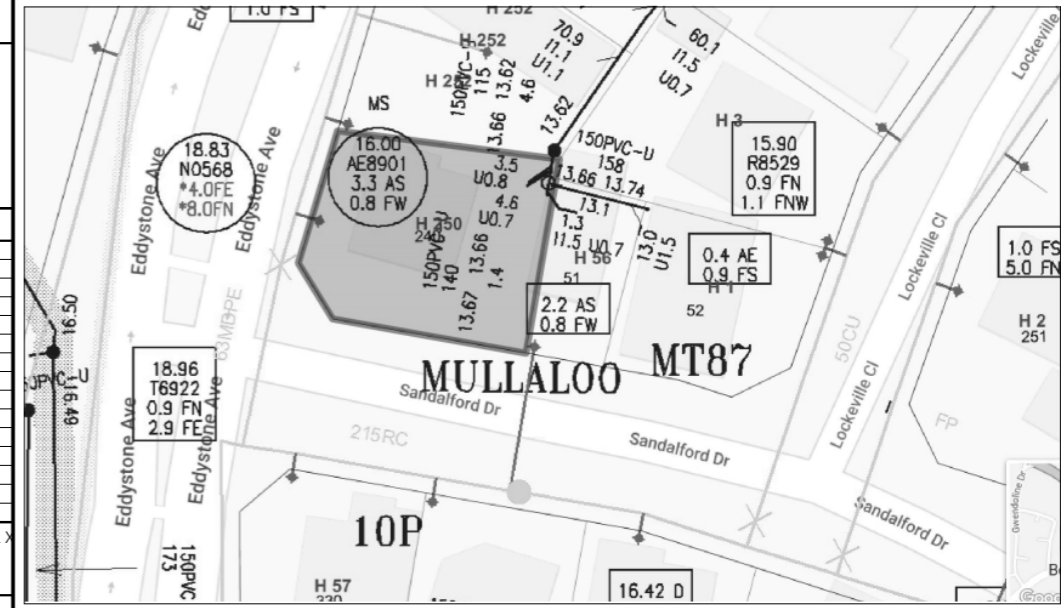


**STREET SETBACK PAVING PERCENTAGE**  
STREET SETBACK AREA = 36.88m<sup>2</sup> (50% = 18.44m<sup>2</sup>)  
PAVING/ IMPERVIOUS SURFACE AREA = 13.01m<sup>2</sup> (35.27%)

EDDYSTONE AVENUE



<b>ELEC.</b> U/Ground	<b>SEWER</b> Yes	<b>ROADS</b> Bitumen	<b>COASTAL</b> No <small>(Approx. Only - Confirm With Shire)</small>
<b>GAS</b> Check Alinta	<b>COMMS</b> Yes	<b>PATH</b> Concrete	<b>SOIL</b> Sand
<b>WATER</b> Yes	<b>DRAINAGE</b> Good	<b>KERBS</b> Semi-Mount	<b>VEG.</b> Refer to Survey



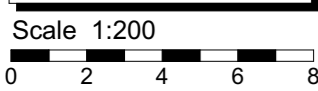
**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**LOT MISCLOSE**  
0.002m



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....  
OWNER 1.....  
OWNER 2.....  
BUILDER.....

DR	DATE	CHK	DESCRIPTION
IF	21/09/23	BP	PLANNING DRAWINGS
IF	28/11/23	JK	NEW SITE SURVEY
IF	19/01/24	IF	CONT. CHECK

MODEL NAME: ESSENTIAL X  
**HARLEY**  
DWG: LANDSCAPING PLAN  
SCALE: 1:200  
JOB No: 23094  
SHEET No: 4 of 5

**COTTAGE SURVEYS**  
78-89 Guthrie St PO Box 1611 Osborne Park WA 6017  
Osborne Park WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au  
JOB: 559536 DATE: 06 Nov 23 DRAWN: J. Jee