

R-CODES NOTE:

ZONING: R20

SITE COVERAGE

SITE: 434.99m²
 ALLOWED COVER: 217.495m² (50%)
 ACTUAL COVER: 187.61m² (43.12%)

R-CODES VARIATION/PLANNING

REQUIRED: YES

- 1m SETBACK WALL OVER 14m LENGTH
- 1m SETBACK WALL W/ MAJOR OPENING
- GARAGE SIDE B'DRY SETBACK

BAL ASSESSMENT REQUIRED: NO

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE
- PLUMBER TO INSTALL REFLUX VALVE, IF REQUIRED.

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER (MIN 1.8m FROM BUILDING LINE & BDRY'S). ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE W/ NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.

Soak Well Type	No.	No.	Capacity
SW 1200x1500	2	3.4	m ³
Total Capacity		3.4	m ³
Roof Area GF		222.3	m ²
Total Area		222.3	m ²
Capacity Required (Area x 0.0130)		2.9	m ³
Extra Capacity Provided		0.5	m ³

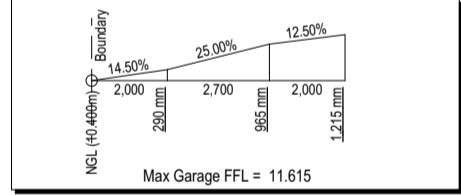
SEWER RUN CALCULATION:

Residence	1
F.F.L.	12.3
Sewer Invert	9.6
Sewer Length	30
Height	1600



AVERAGING
 7.03m² BEHIND
 0.00m² IN FRONT

DRIVEWAY GRADIENT:



DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey. Any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:
 Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:
 Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based on dependent on the location of existing features should have those features' location verified in relation to the true b'dary.



87-89 Guthrie Street
 Osborne Park, WA 6017
 PO Box 1611
 Osborne Park BC, WA 6917
 P: (08) 9446 7361
 E: perth@cottage.com.au
 W: www.cottage.com.au

AREA: 435m²
 SHIRE: JOONDALUP
 D.PLAN: 85334
 C/T VOLUMN: 4019
 FOLIO: 323
 MSD REF: TBC

ROAD DESCR.: BITUMEN
 KERBING: MOUNT
 FOOTPATH: NIL
 SOIL: RTS
 DRAINAGE: GOOD
 VEGETATION: RTS

GAS: YES
 WATER: YES
 ELECTRICITY: OH/UG
 PH/COMMS: TBA
 SEWER: YES
 COASTAL: NO

SSA/OLD AREAS: OLD A
 C/JOB#: 539560
 DATE: 19.01.23
 SCALE: 1:200
 DRAWN: T. GILL

UNLOGGED SS PLAN: N/A
 ORIGINAL LOT: 557
 LOT MISCLOSE: N/A
 SSL 1 MISCLOSE: 0.004
 SSL 2 MISCLOSE: 0.003

PROPOSED RESIDENCE FOR:
 C. BINKS

ADDRESS:
 SSL 2, (#2A) ALYCON PLACE,
 KALLAROO

DRAWN: GCA
 DESIGNED: LMZ
 CHECKED: TBA
 DATE: 07.09.23
 MODEL: SIENA

SCALE: 1:200
 SHEET: 8 OF 8
 SIZE: A3
 ES
 JOB N° 166694

Issue Name Drawn Date Issue Name Drawn Date

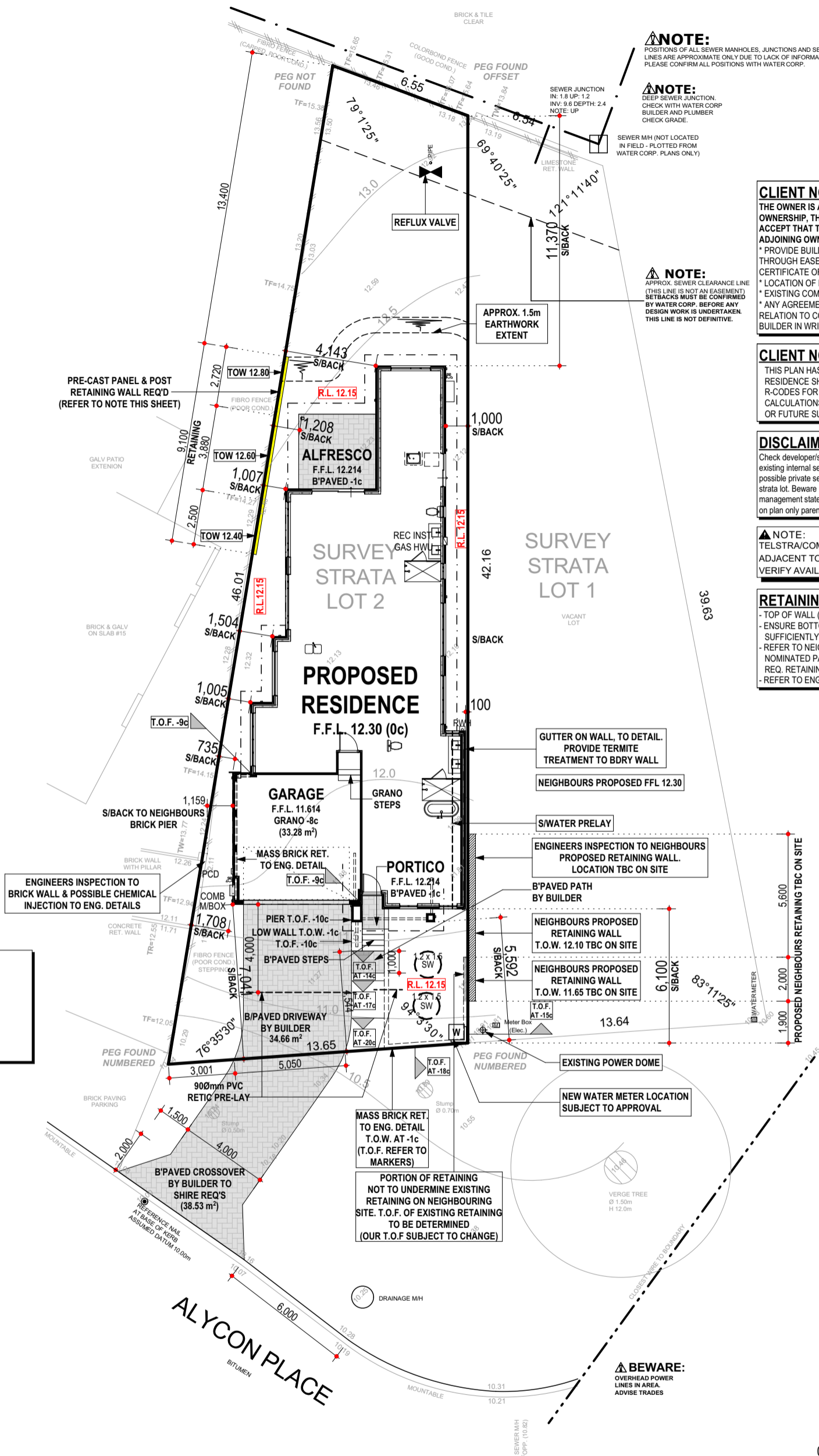
SITE PLAN

BUILT AROUND PEOPLE

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BUILD | RENOVATE | DEVELOP



LEGEND

⊕	SEC Dome
⊖	Power Pole
⊕ ⊖	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

CLIENT NOTE

THE OWNER IS AWARE THAT IN REGARD TO SURVEY STRATA OWNERSHIP, THEY HAVE CERTAIN RESPONSIBILITIES AND ACCEPT THAT THEY ARE RESPONSIBLE TO CONTACT ADJOINING OWNER/S FOR FOLLOWING:
 * PROVIDE BUILDER ACCESS TO COMPLETE SERVICE RUNS THROUGH EASEMENTS AS NOTED ON THIS SITE PLAN AND CERTIFICATE OF TITLE
 * LOCATION OF POWER/GAS METER BOXES AND WATER METER
 * EXISTING COMMON DRIVEWAYS AND OR CROSSOVERS
 * ANY AGREEMENTS WITH ADJOINING PROPERTY OWNERS IN RELATION TO COMMON PROPERTY TO BE PROVIDED TO THE BUILDER IN WRITING PRIOR TO SITE WORK COMMENCEMENT

CLIENT NOTE:

THIS PLAN HAS BEEN PREPARED ONLY FOR THE RESIDENCE SHOWN TO COMPLY WITH THE RELEVANT R-CODES FOR THIS LOT. NO ALLOWANCES OR CALCULATIONS HAVE BEEN MADE FOR THE POTENTIAL OR FUTURE SUBDIVISION OF THIS LOT.

DISCLAIMER:

Check developer/strata company regarding possible future/ existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

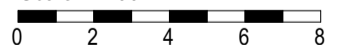
NOTE:

TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

RETAINING CONTRACTOR NOTE:

- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQUIRED BY ENGINEERING DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

Scale 1:200



SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

FRAMING NOTE

- EXTERNAL WALLS TO BE STEEL FRAME BRICK VENEER
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O
- INTERNAL WALLS TO BE STEEL FRAMED

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
- RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)
- LEAVE VENT FOR FLUING OF NOMINATED EXHAUST FAN, RHOOD OR CEILING VENT INDICATED ON PLAN BY: Ⓢ
- IF NOT SHOWN REFER TO ELEVATION FOR ROOF OR WALL VENT LOCATION

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD CEILINGS IF APPL.

WALL INSULATION NOTE

- PROVIDE R2 INSULATION TO ALL FRAMED WALLS

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE

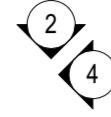
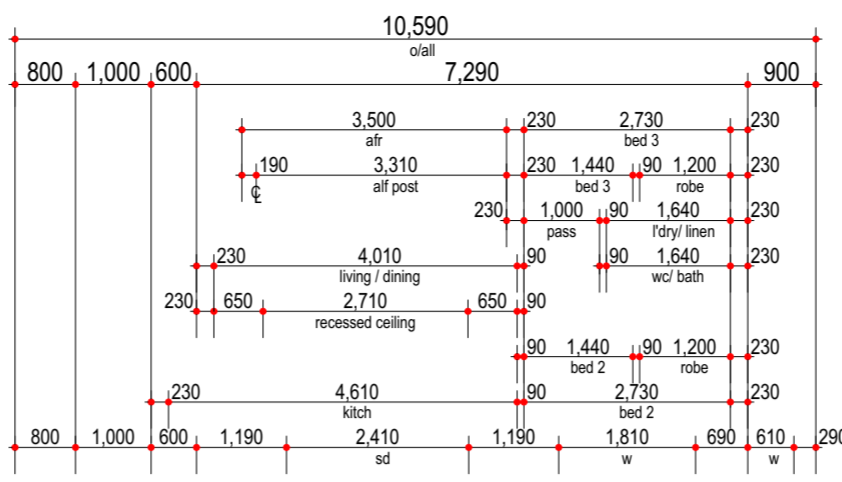
- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

CEILING MATERIAL NOTE

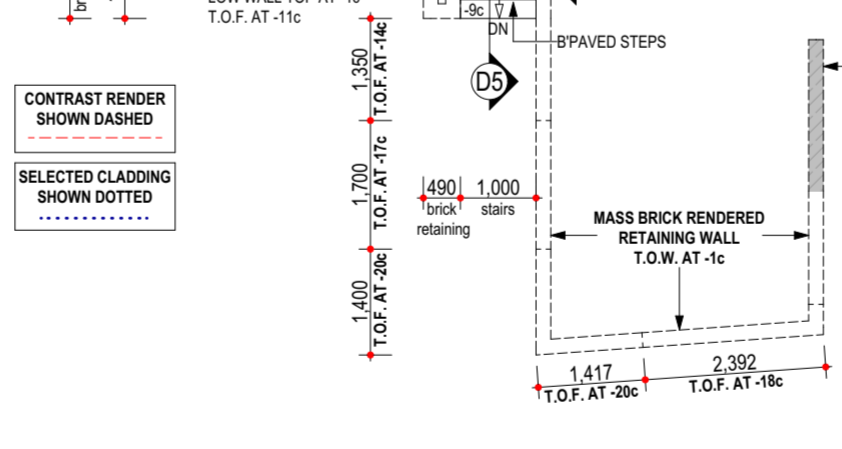
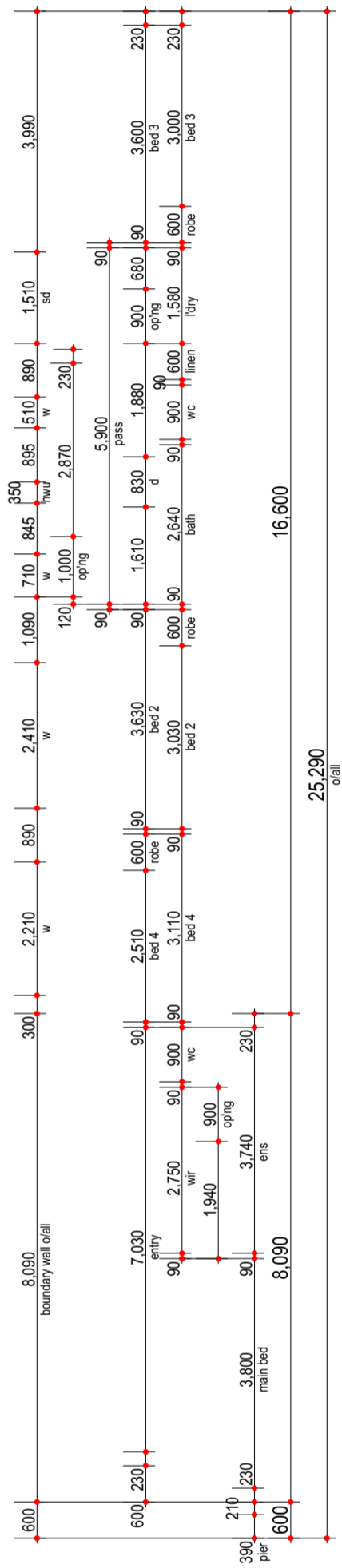
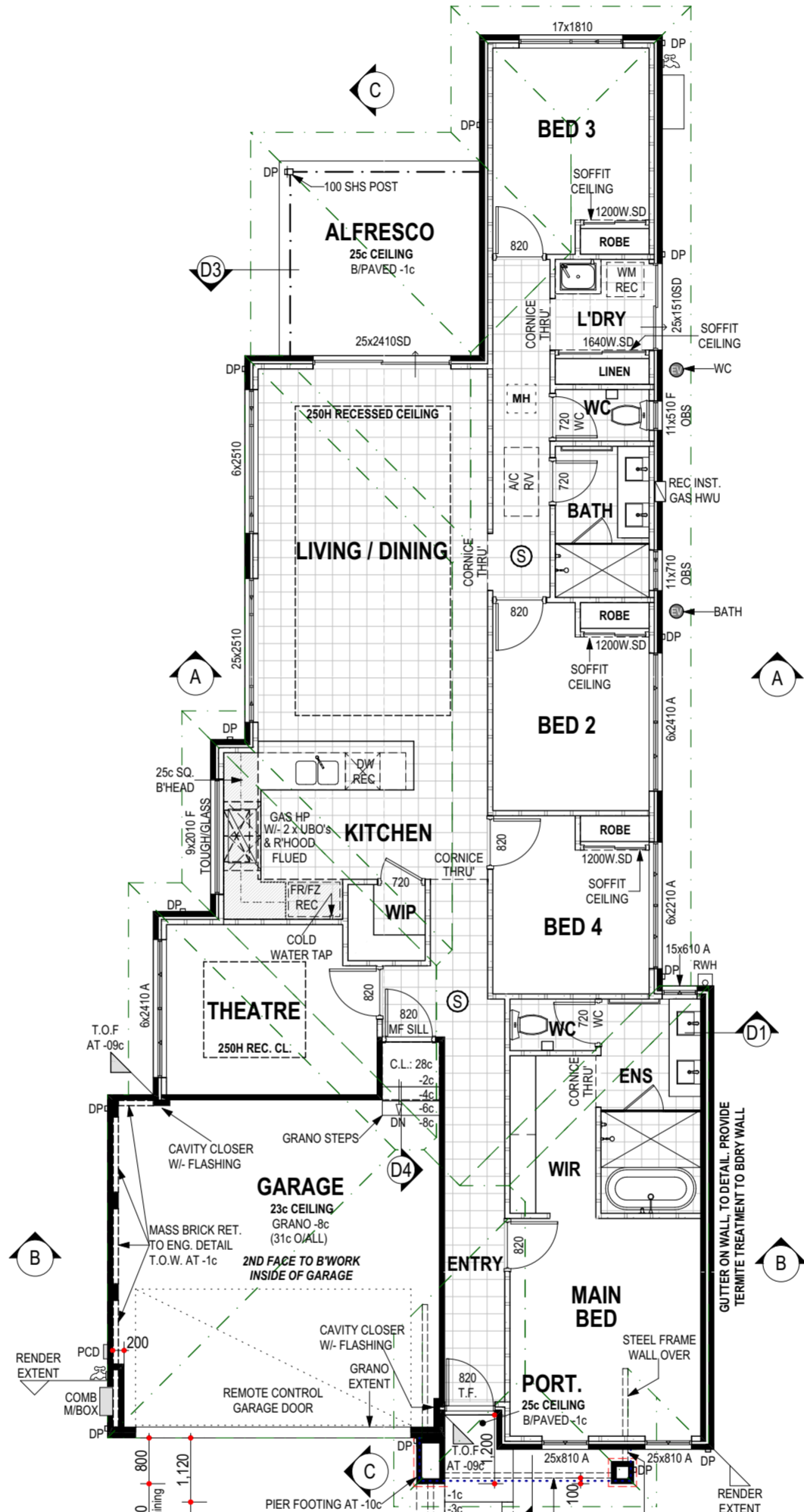
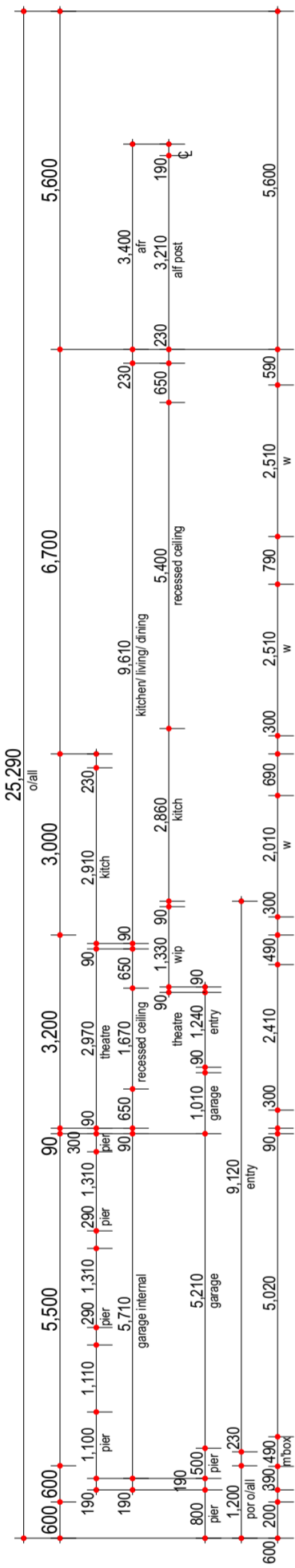
- REFER TO ADDENDA FOR CEILING / EAVE LINING SELECTION

RENDER WALL NOTE

- PROVIDE BATTEN TO JUNCTIONS OF RENDERED WALLS & FIBRE CEMENT CEILINGS

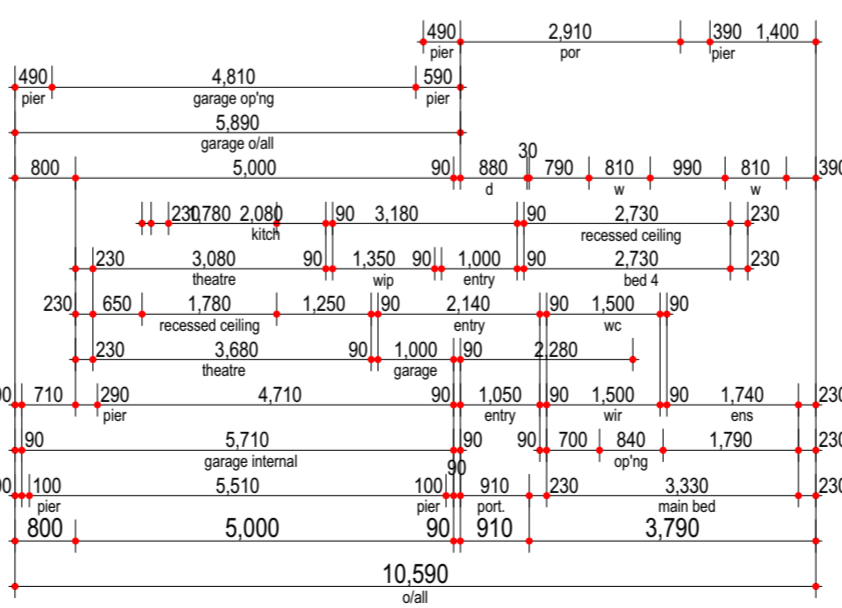


PROVIDE FLOOR TILING FROM BUILDERS STANDARD RANGE TO LIVING, DINING, KITCHEN, WIP, ENTRY & BED PASS
PROVIDE CARPET FROM BUILDERS STANDARD RANGE TO ALL BEDROOMS (INC. ROBES) & THEATRE
PROVIDE BLINDS THROUGHOUT (EXCLUDING WET AREAS)
PROVIDE INTERNAL PAINTING THROUGHOUT (REFER TO COLOUR SELECTION)



FOOTING DEPTH OF PORTION OF RETAINING SHOWN HATCH TO BE DETERMINED UPON RECEIPT OF DEPTH OF FOOTING OF EXISTING NEIGHBOURING RETAINING WALL

- GLAZING NOTE**
- PROVIDE 6.38mm LAM GLAZING THROUGHOUT ENTIRE HOME
- TRADES / SUPERVISOR NOTE**
- REFER TO STRUCTURAL ENGINEERS DETAILS
 - ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.
- DOOR NOTE**
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF B.C.A VOL. 2
 - ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
- PLUMBER NOTE**
- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
 - PLUMBER TO INSTALL REFLUX VALVE.
- GARAGE NOTE**
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
 - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG
- CONCRETOR/BRK LAYER NOTE**
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.
- PLASTERBOARD NOTE**
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS UNLESS NOTED OTHERWISE.
- AIRCON NOTE**
- PROVIDE REVERSE CYCLE AIR CONDITIONING.
 - OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
 - EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.
 - EXTERNAL UNIT TO BE HUNG FROM BRACKETS FOR DOUBLE BRICK AND BRICK VENEER CONSTRUCTION.
 - EXTERNAL UNIT TO BE INSTALLED ON SLAB ON GROUND FOR FULLY FRAMED CONSTRUCTION.



FLOOR PLAN

	Area m ²	Perim
FLOOR PLAN	149.03	70.98
GARAGE	35.30	25.60
ALFRESCO	11.90	13.80
PORTICO	1.65	1.65
ROOF	197.88 m²	
	221.32	

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works.
Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

PROPOSED RESIDENCE FOR:
C. BINKS

ADDRESS:
**SSL 2, (#2A) ALYCON PLACE,
KALLAROO**

DRAWN: GCA
DESIGNED: LMZ
CHECKED: TBA
DATE: 07.09.23
MODEL: SIENA

SCALE: 1:100
SHEET: 1 OF 8
SIZE: A2
ES
JOB N°: 166694

Issue Name: V002
Drawn: SCH
Date: 04.10.2023
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Drawn: SCH
Date: 04.10.2023

FLOOR PLAN

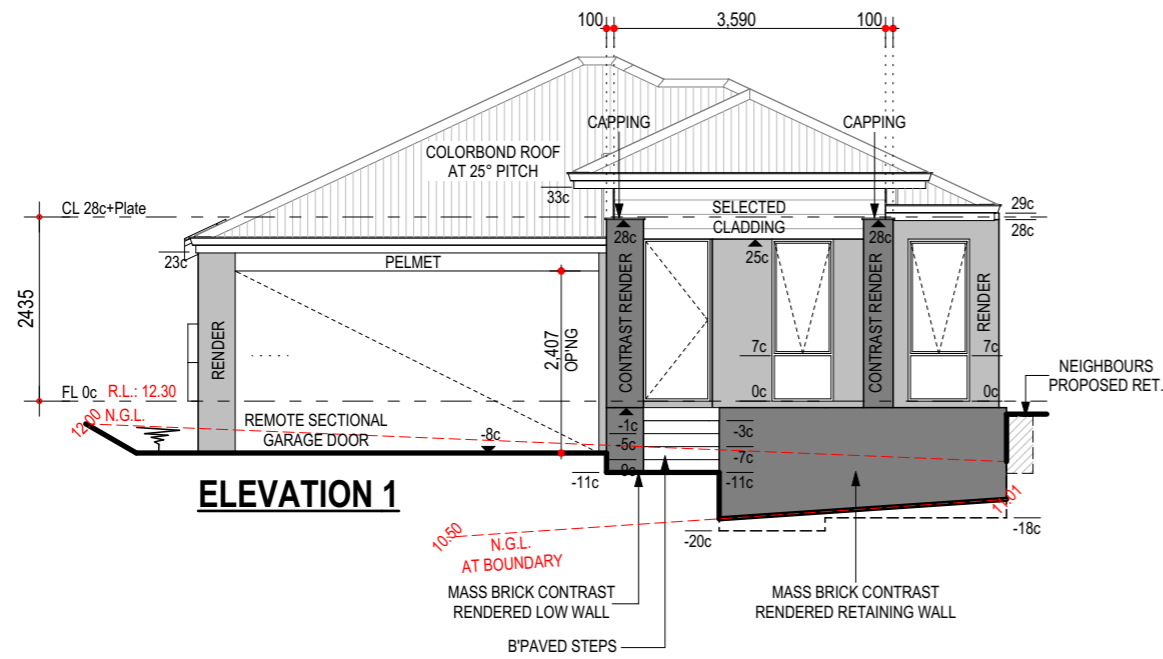


ROOF NOTE

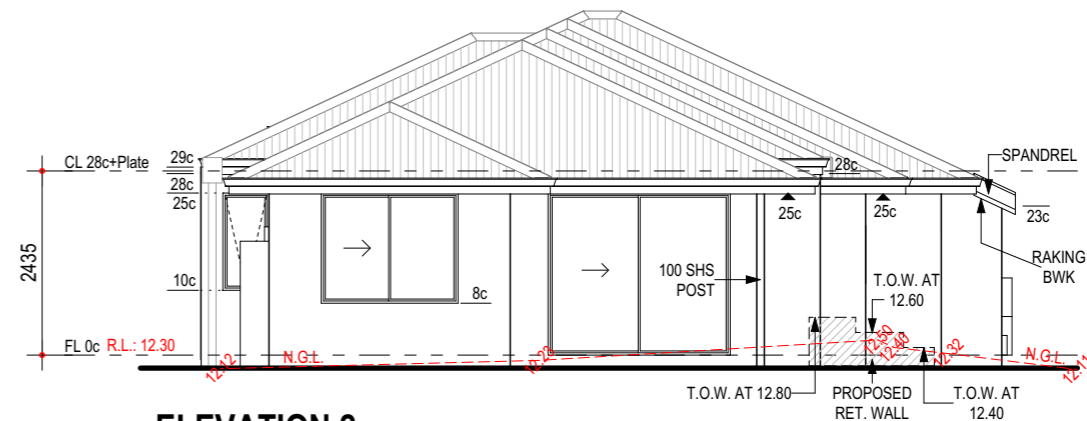
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE

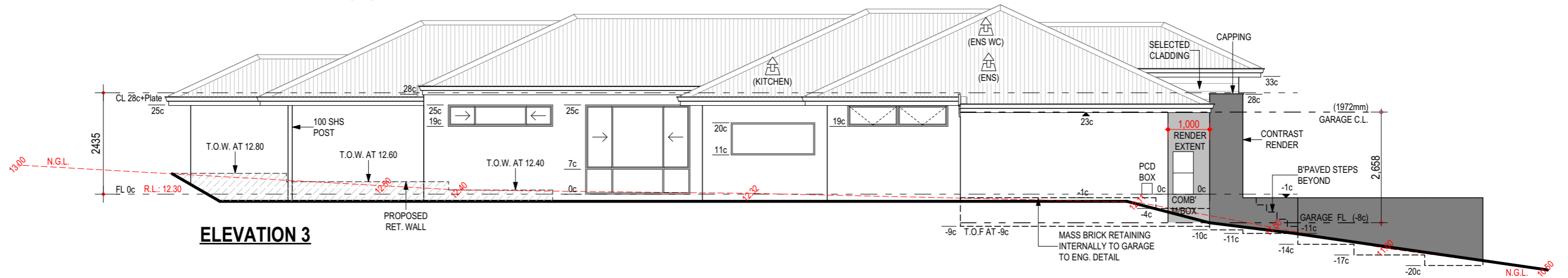
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



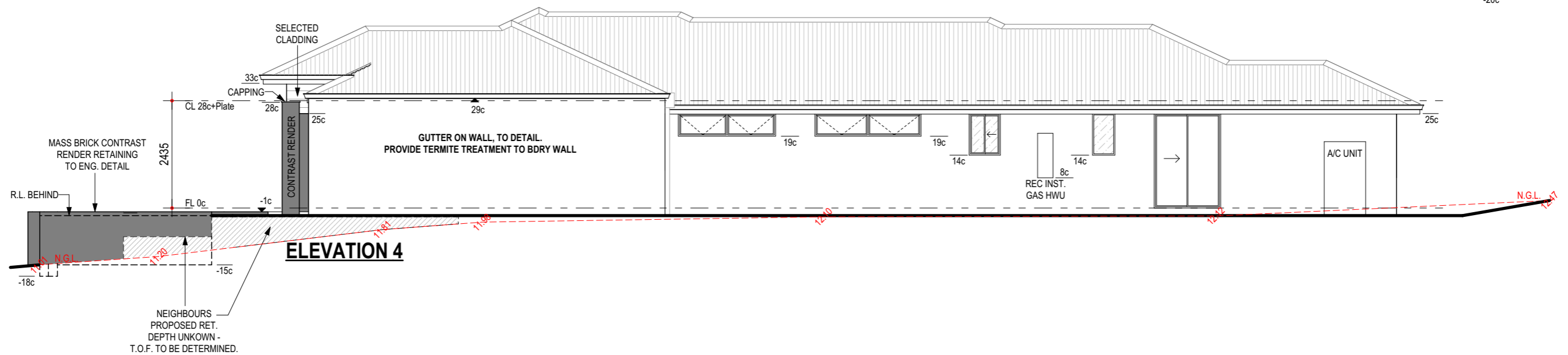
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

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PROPOSED RESIDENCE FOR:
C. BINKS
 ADDRESS:
 SSL 2, (#2A) ALYCON PLACE,
 KALLAROO

DRAWN: GCA
 DESIGNED: LMZ
 CHECKED: TBA
 DATE: 07.09.23
 MODEL: SIENA

SCALE: 1:100
 SHEET: 2 OF 8
 SIZE: A3
 ES
 JOB N° 166694

Transmittal Set Name V002
 Drawn SCH
 Date 04.10.2023
 Transmittal Set Name
 Drawn
 Date

ELEVATIONS

