



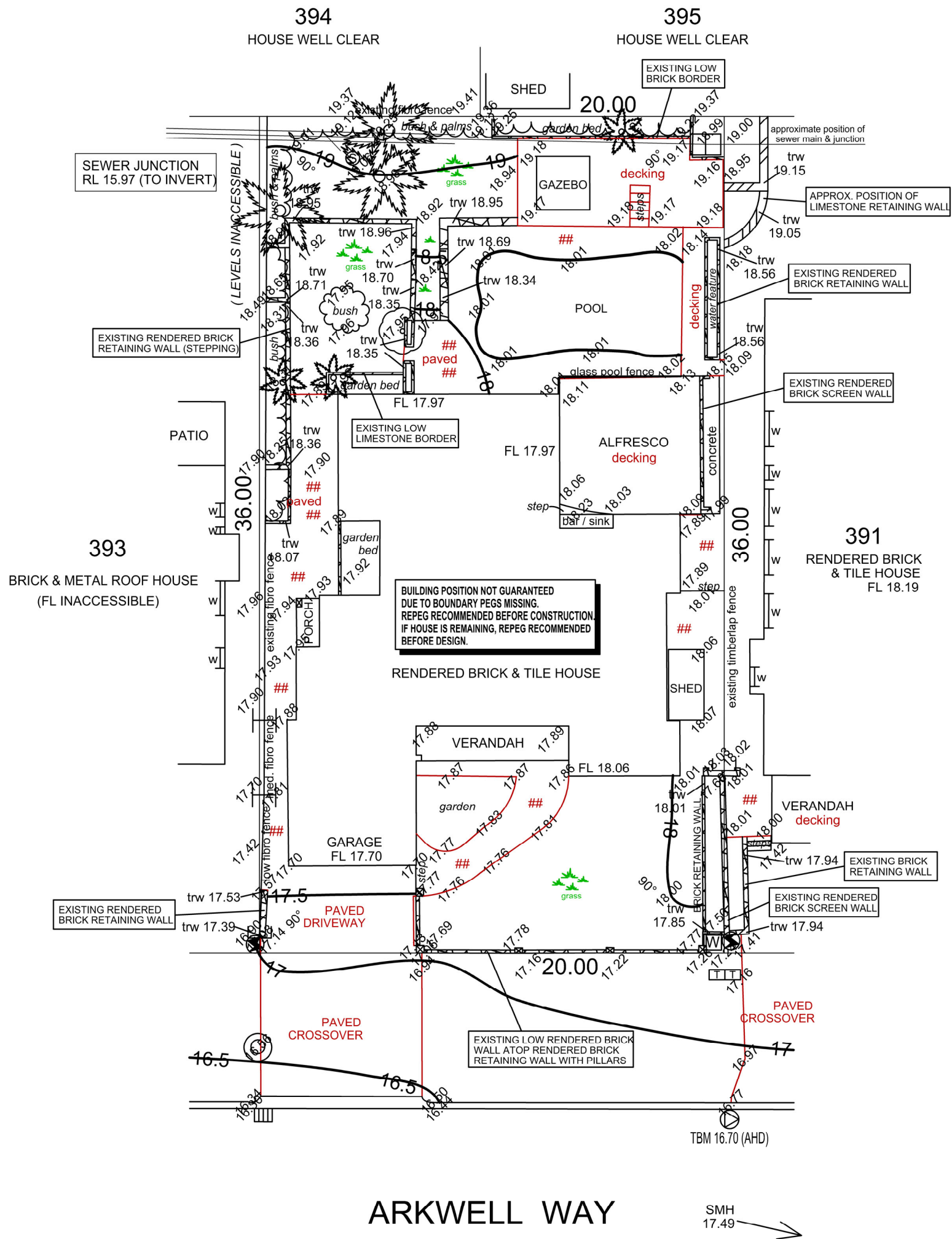
NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

LOT No: 392

AREA : 720m²



LOCATION REF.(MSD) 280 C-7



BUILDING POSITION NOT GUARANTEED DUE TO BOUNDARY PEGS MISSING. REPEG RECOMMENDED BEFORE CONSTRUCTION. IF HOUSE IS REMAINING, REPEG RECOMMENDED BEFORE DESIGN.

ARKWELL WAY

SMH 17.49

trw - DENOTES TOP OF RETAINING WALL

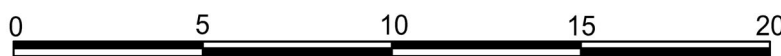
POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE L7734 LID LEVEL.



SITE PLAN 1:200 at A3

IMPORTANT NOTE: LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY. CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.
REF NO: 60573 FILE NO: 1842 DATE: 22.01.13 DRAWN: AC

All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E PLAN. Block located about 650m from the ocean.

R. G. LESTER & ASSOCIATES
LICENSED LAND & ENGINEERING SURVEYORS
SHOP 7, NORTH BEACH PLAZA
1 NORTH BEACH ROAD
NORTH BEACH, WA 6020
PH: 9448 5009 - FX: 9203 6722
admin@lestersurveys.com.au

(BUILDER)

CLIENT / S :
MARK THOMPSON

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: NOT SIGHTED
PHONE: YES	WATER: YES (RHS)
SEWERAGE: YES, ABOUT 3.1m DEEP (TO INVERT)	
ROAD: BITUMEN	
KERB: MOUNTABLE (cracked)	
FOOTPATH: NIL	
VEGETATION: ESTABLISHED GARDENS, TREES & PALMS	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: NIL	
REPEG: REQUIRED	
REPEG TYPE: OLD SURVEY AREA	

TITLE DETAILS
LOT NOS: 392 C/T VOL: 1385
Plan: 10962 FOL: 792

LEGEND

T.B.M.	STREET LAMP	HYDRANT
POWER DOME	TREE	STOP VALVE
PHONE	POWER POLE	SEWERAGE MANHOLE
Communication Pit	GRATED DRAIN	SEWERAGE MANHOLE
SIDE ENTRY PIT	DRAINAGE MANHOLE	Sewerage Inspection Lid
TREE STUMP	FENCE END	WATER TAP
PILLAR	WATER METER	PRE-LAID WATER PIPE

SIGNED CLIENT / S

WITNESS

SIGNED BUILDER

WITNESS

DATE

STREET ADDRESS:
**#36 ARKWELL WAY,
MARMION**

Local Authority : CITY OF JOONDALUP

VARIATIONS (all sheets)	DWN.	DATE	CHK.	SHEET No :
				1 of 1
				JOB No:
				60573

NOTES:

ALLOW TO SUPPLY & INSTALL TEMPORARY CHAIN MESH FENCING PANELS TO PERIMETER OF SITE TO THE EXTENT REQUIRED TO MAINTAIN SECURITY TO THE SITE.

PROVIDE STAR PICKET & RED PVC BUNTING TO EXCAVATED AREAS.

PROVIDE PROTECTION TO EXISTING GROUNDS AND VEGETATION TO BE RETAINED.

NO PORTION OF THE PROPOSED ALTERATIONS, INCLUDING THE FOOTINGS AND ROOF EAVES SHALL ENCR OACH BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY

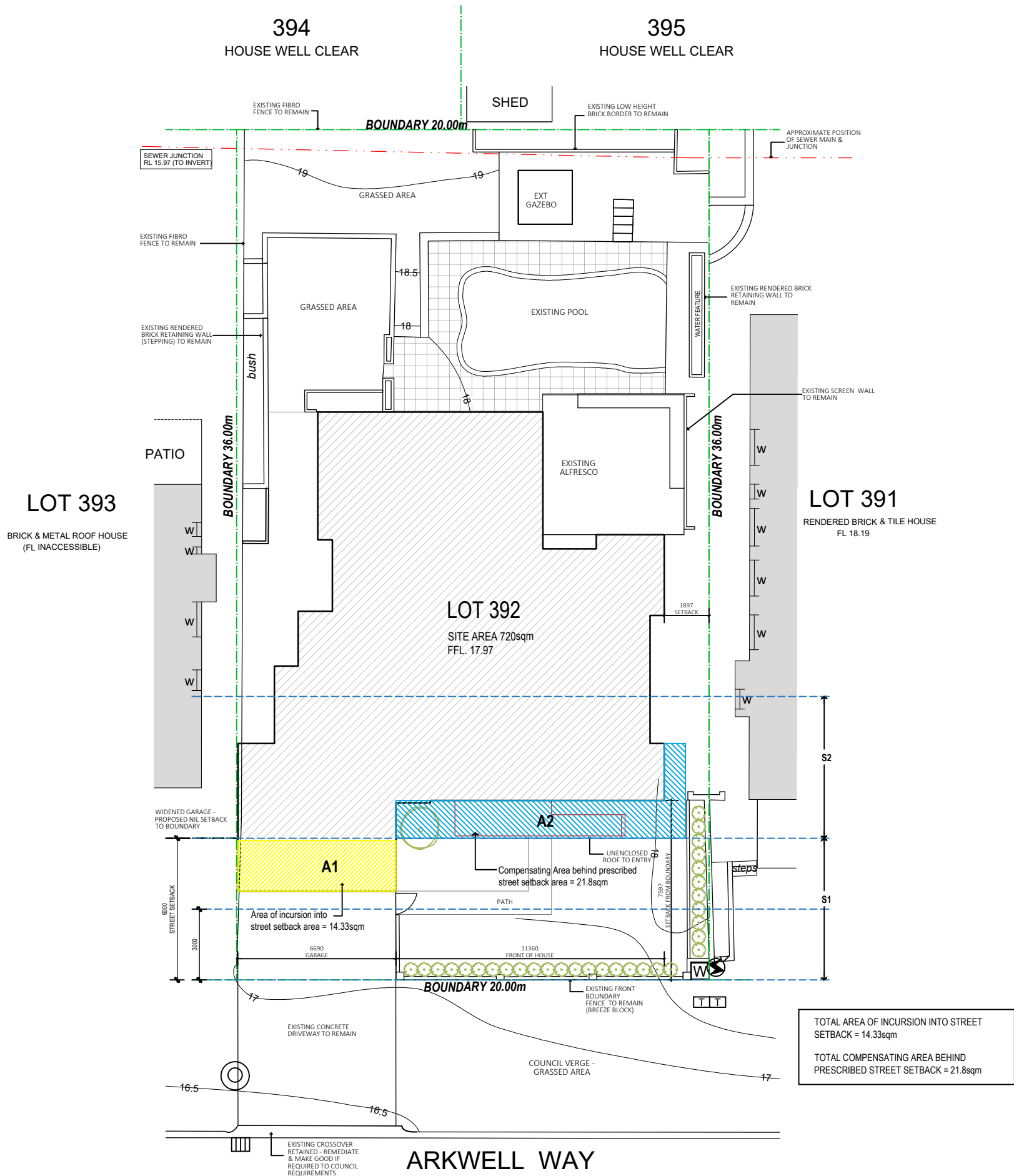
SURVEY RE-PEG AND SET OUT:

ENGAGE A LICENSED SURVEYOR TO RE-PEG ALL BOUNDARIES. IN ADDITION EMPLOY A LICENSED SURVEYOR TO SET OUT THE BUILDING AND MAINTAIN ALL NECESSARY IDENTIFICATION PEGS.

LEVELS:

ALL HEIGHTS NOMINATED ARE TO ASSUMED RELATIVE LEVELS (RL) BASED ON AUSTRALIAN HEIGHT DATUM (AHD). REFER TO ARCHITECTURAL DRAWINGS FOR ALL LEVELS INCLUDING THE SITE DATUM. ALL LEVELS TO BE CONFIRMED ON SITE. ANY DISCREPANCIES PLEASE NOTIFY THE ARCHITECT.

ZONED R-20	
TOTAL SITE AREA	720sqm
<u>TOTAL FLOOR AREA</u>	
EXISTING RESIDENCE (INCL. GARAGE)	239sqm
NEW GROUND FLOOR AREA (INCL. GARAGE)	249.9sqm
TOTAL OPEN SPACE REQ. (50% AREA)	360sqm
<u>OPEN SPACE % ACHIEVED</u>	65.3%
<u>COVERED OUTDOOR LIVING</u>	
GROUND FLOOR	36.5sqm
UPPER FLOOR BALCONY	20.1sqm



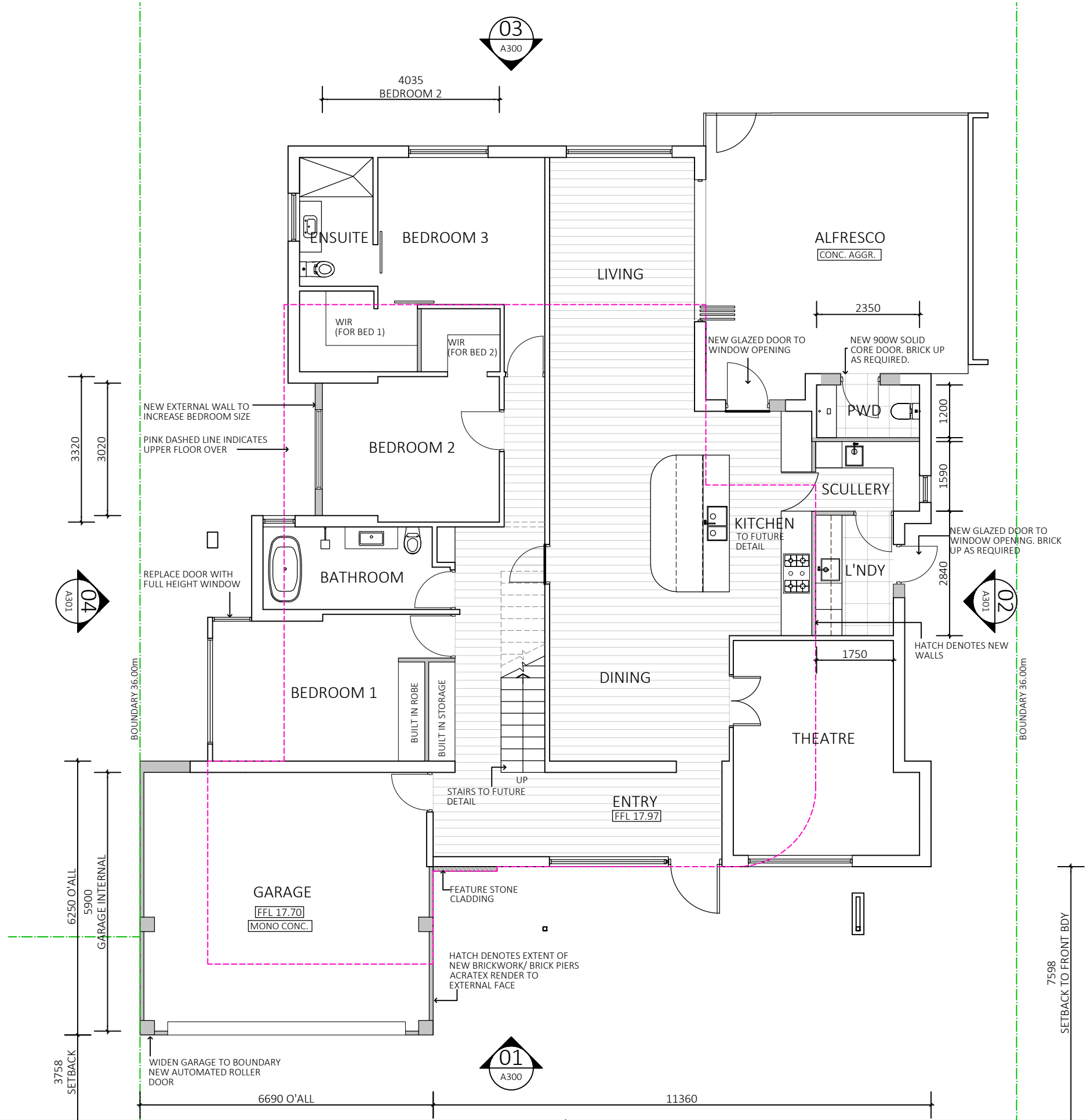
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A	13.10.23	ISSUED FOR PLANNING APPLICATION

PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	SETBACK DIAGRAM
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DRAWN	EA	SCALE	1:200	DATE	29.03.23	REVISION	A
CHECKED	RS	SHEET	A3	PROJECT NO	2310		



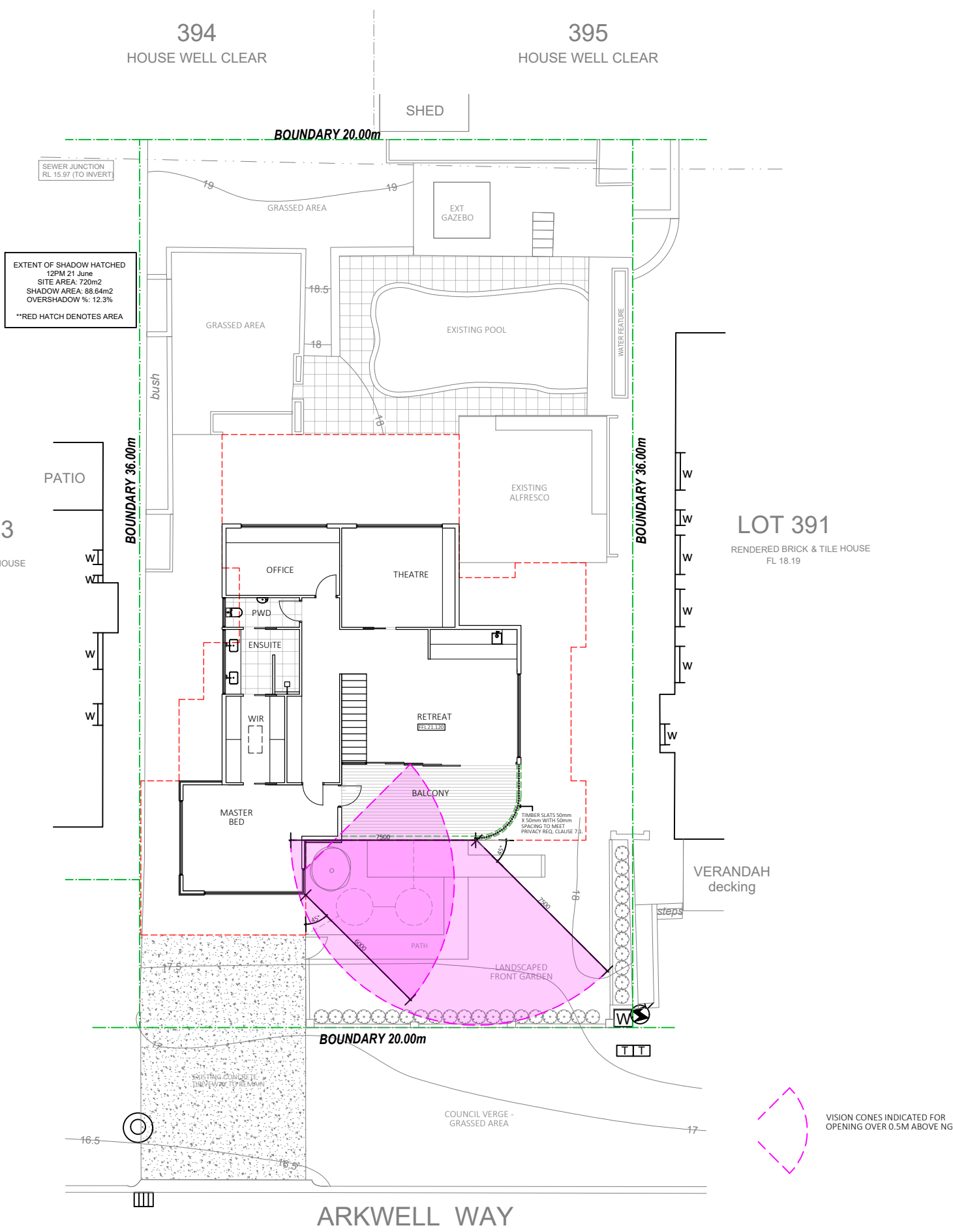
E	26.06.23	ISSUED FOR INFORMATION
F	19.07.23	ISSUED FOR PLANNING APPLICATION
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PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	PROPOSED GROUND FLOOR PLAN
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DRAWN	EA	SCALE	1:100	DATE	29.03.23	REVISION	F
CHECKED	RS	SHEET	A3	PROJECT NO	2310		



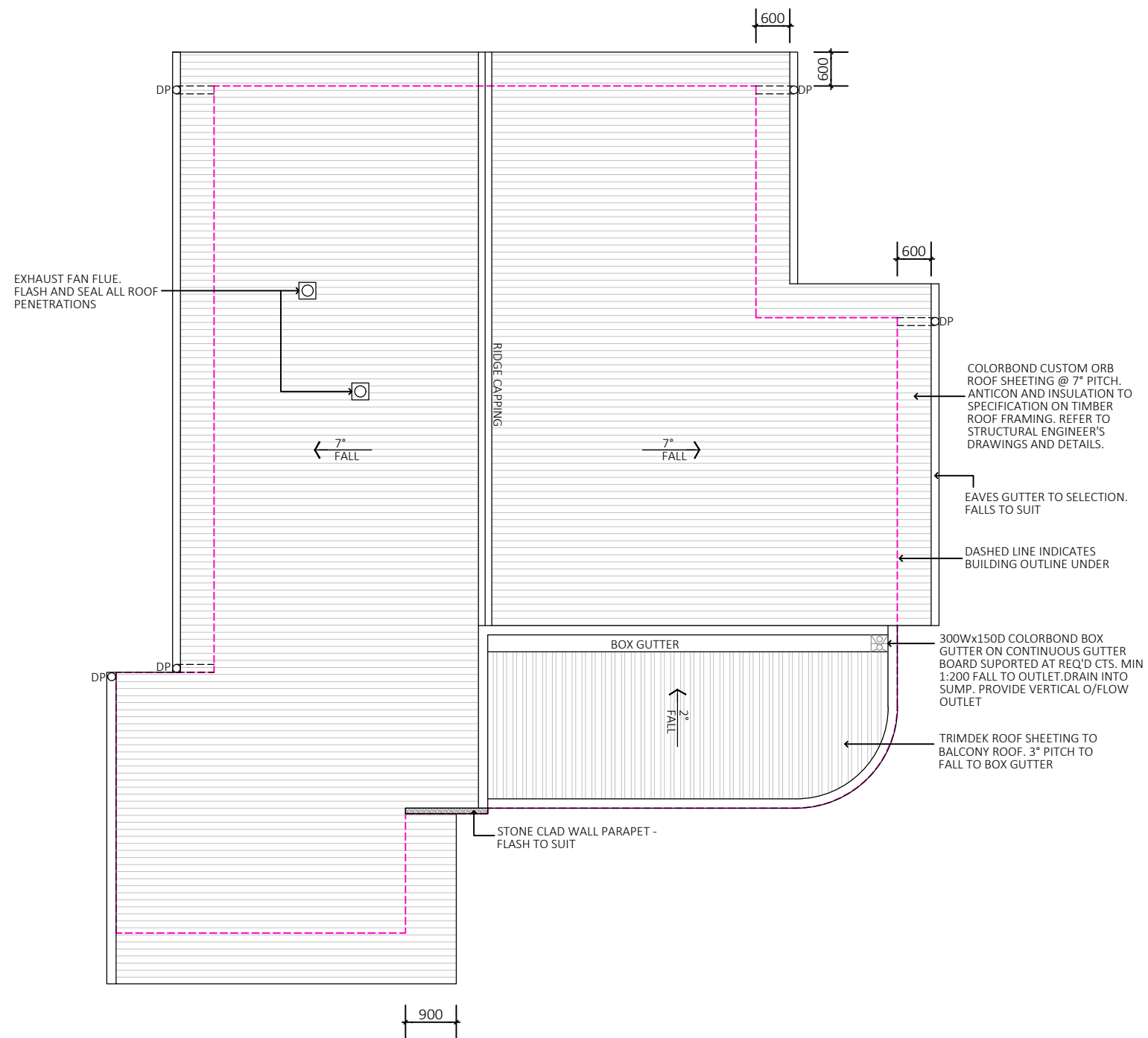
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B	13.10.23	RE-ISSUED FOR PLANNING APP - ADDED PRIVACY
A	07.08.23	ISSUED FOR PLANNING APPLICATION

PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	CONE OF VISION DIAGRAM
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DRAWN	EA	SCALE	1:200	DATE	29.03.23	REVISION	B
CHECKED	RS	SHEET	A3	PROJECT NO	2310		



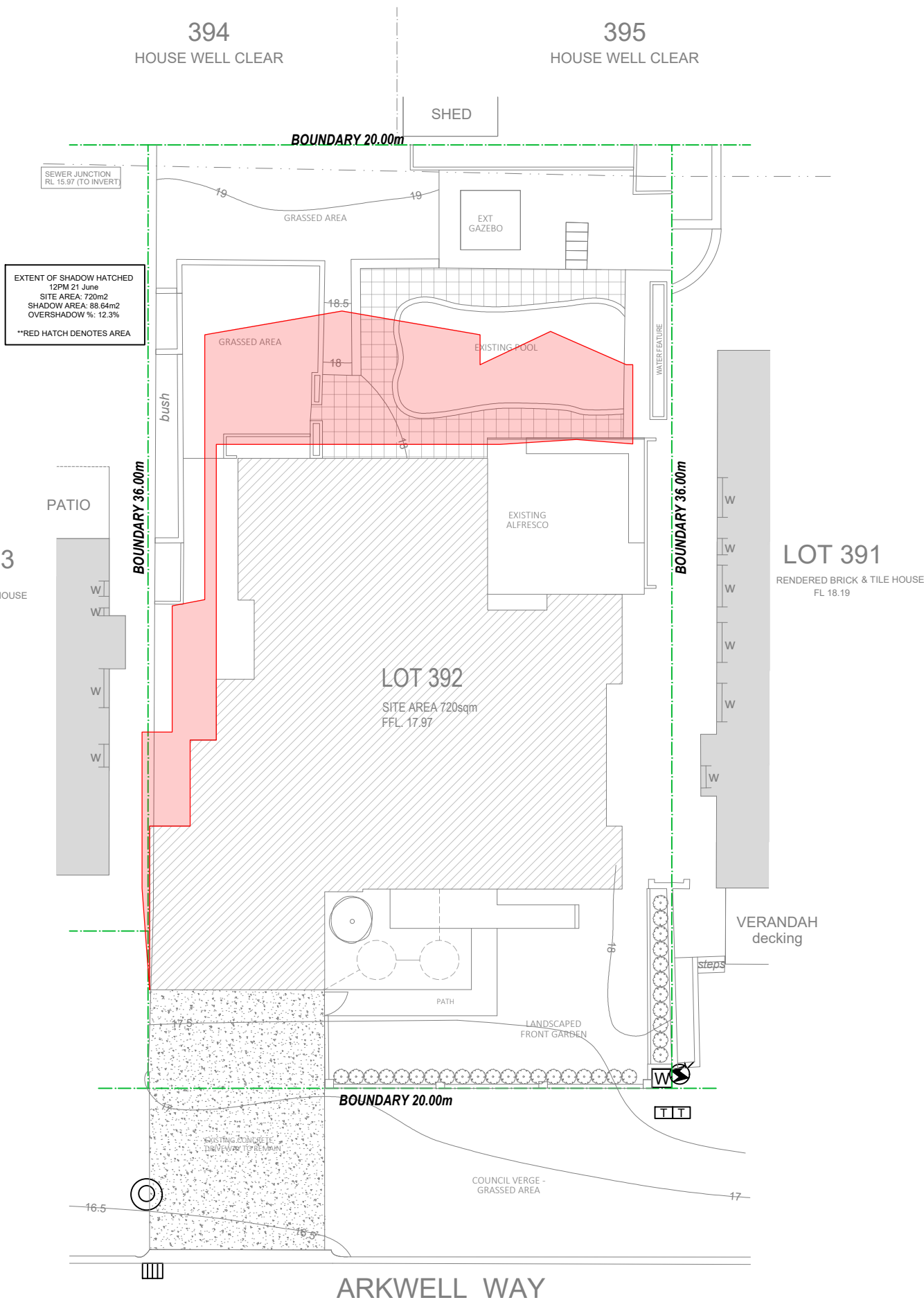
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A	19.07.23	ISSUED FOR PLANNING APPLICATION

PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	PROPOSED UPPER FLOOR ROOF PLAN
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DRAWN	EA	SCALE	1:100	DATE	29.03.23	REVISION	A
CHECKED	RS	SHEET	A3	PROJECT NO	2310		



EXTENT OF SHADOW HATCHED
 12PM 21 June
 SITE AREA: 720m²
 SHADOW AREA: 98.64m²
 OVERSHADOW %: 12.3%
 **RED HATCH DENOTES AREA

LOT 393
 BRICK & METAL ROOF HOUSE
 (FL INACCESSIBLE)

LOT 391
 RENDERED BRICK & TILE HOUSE
 FL 18.19

LOT 392
 SITE AREA 720sqm
 FFL 17.97



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A	07.08.23	ISSUED FOR PLANNING APPLICATION

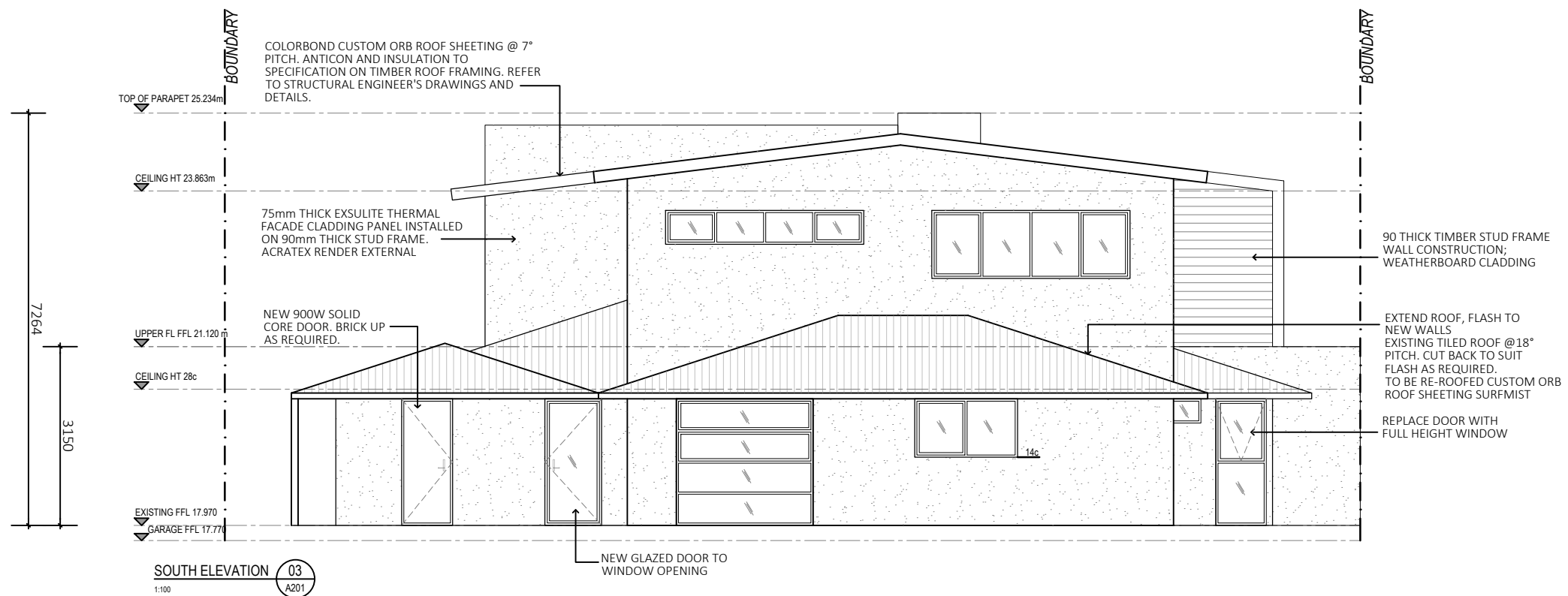
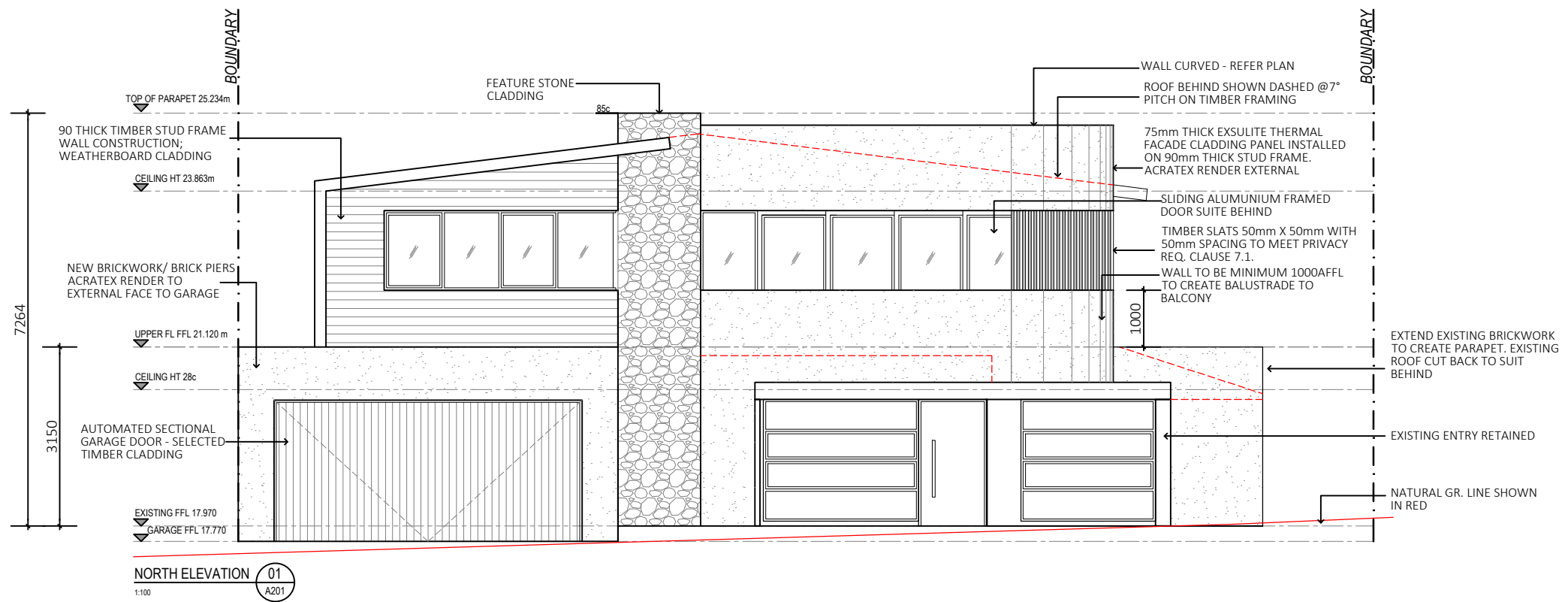
PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	OVERSHADOWING DIAGRAM
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DRAWN	EA	SCALE	1:200	DATE	29.03.23
CHECKED	RS	SHEET	A3	PROJECT NO	2310

REVISION	A
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-	-	-
B	13.10.23	REISSUED FOR PLANNING APP - ADDED PRIVACY
A	07.08.23	ISSUED FOR PLANNING APPLICATION

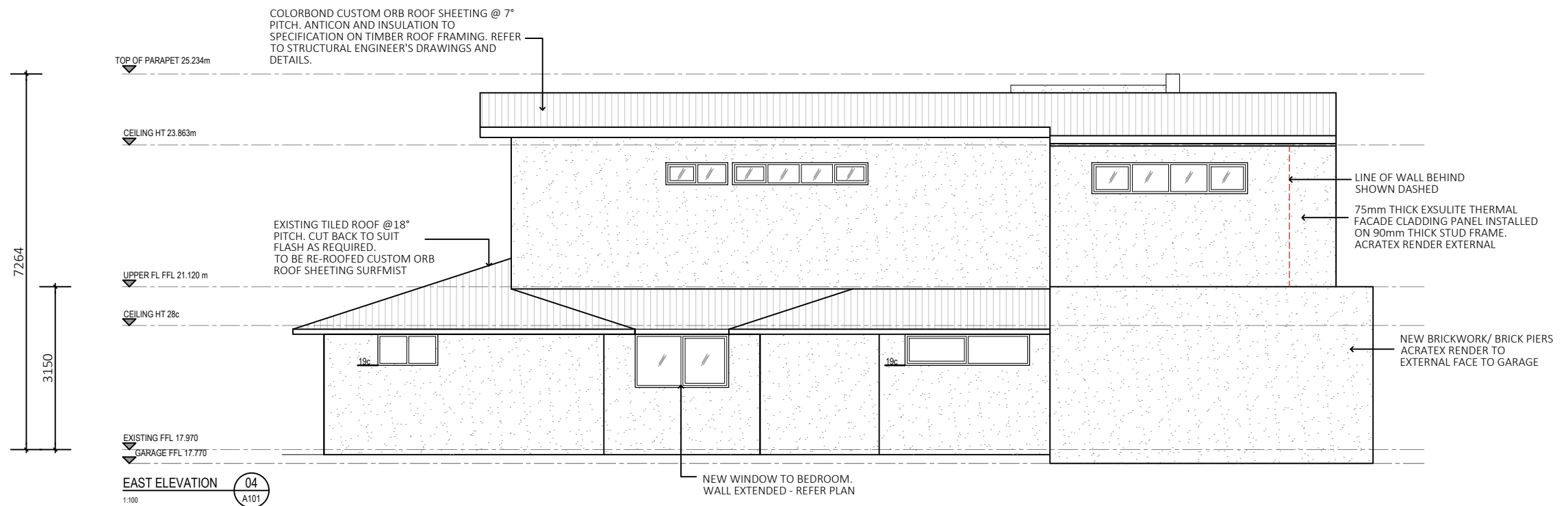
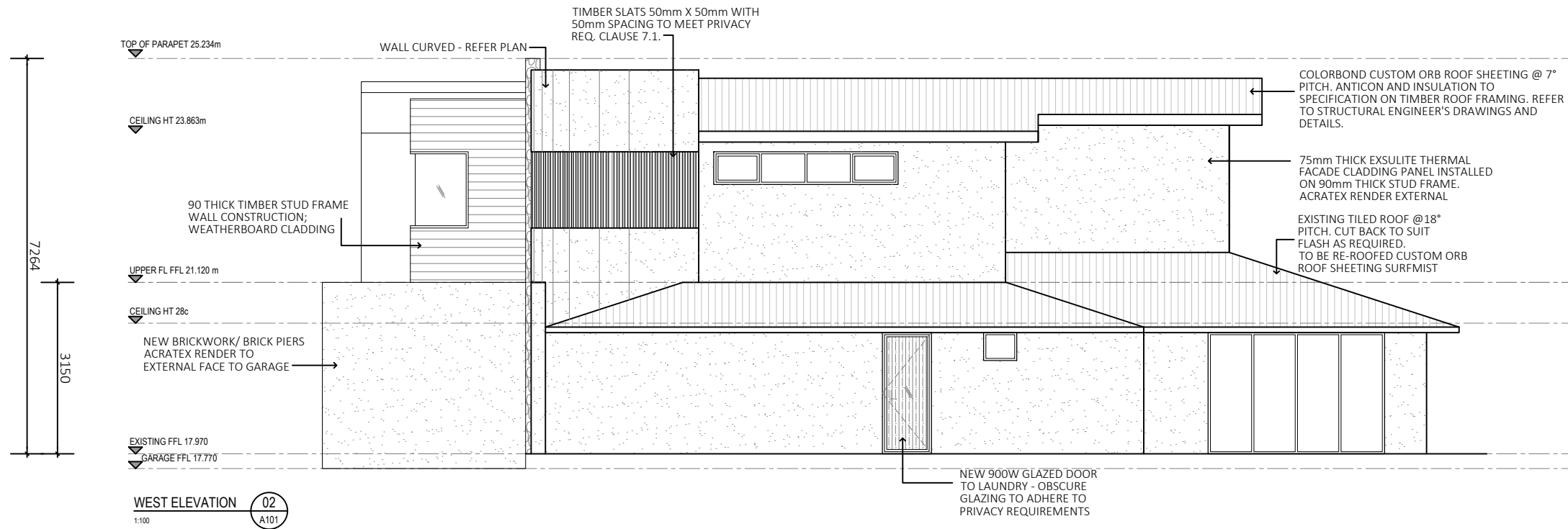
PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	PROPOSED ELEVATIONS
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DRAWN	EA	SCALE	1:100	DATE	29.03.23	REVISION
CHECKED	RS	SHEET	A3	PROJECT NO	2310	

REVISION	B
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B	13.10.23	REVISED PLANNING APP - ADDED PRIVACY
A	07.08.23	ISSUED FOR PLANNING APPLICATION

PROJECT NAME	THOMSON RESIDENCE
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PROJECT ADDRESS	36 ARKWELL WAY MARMION
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DRAWING	PROPOSED ELEVATIONS
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DRAWN	EA	SCALE	1:100	DATE	29.03.23
CHECKED	RS	SHEET	A3	PROJECT NO	2310

REVISION	B
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