

U1 AREA CALCULATIONS		
HOUSE	164.71	76,981
GARAGE	39.75	26,460
ALFRESCO	13.56	14,821
PORCH	2.54	6,620
	220.56 m <sup>2</sup>	

U2 AREA CALCULATIONS		
HOUSE	167.08	76,241
GARAGE	39.75	26,460
ALFRESCO	13.86	15,481
PORCH	2.54	6,620
	223.23 m <sup>2</sup>	



**A3 SHEET**  
 SHEET: 2 of 6  
 DRN: RS  
 DATE: 8/12/23  
 CONTRACT NO:  
**5005 & 5006**

**AMENDMENTS:**  
 PLANNING DRAWINGS  
 REV A  
 08/12/23 RS  
 24/01/24 RS

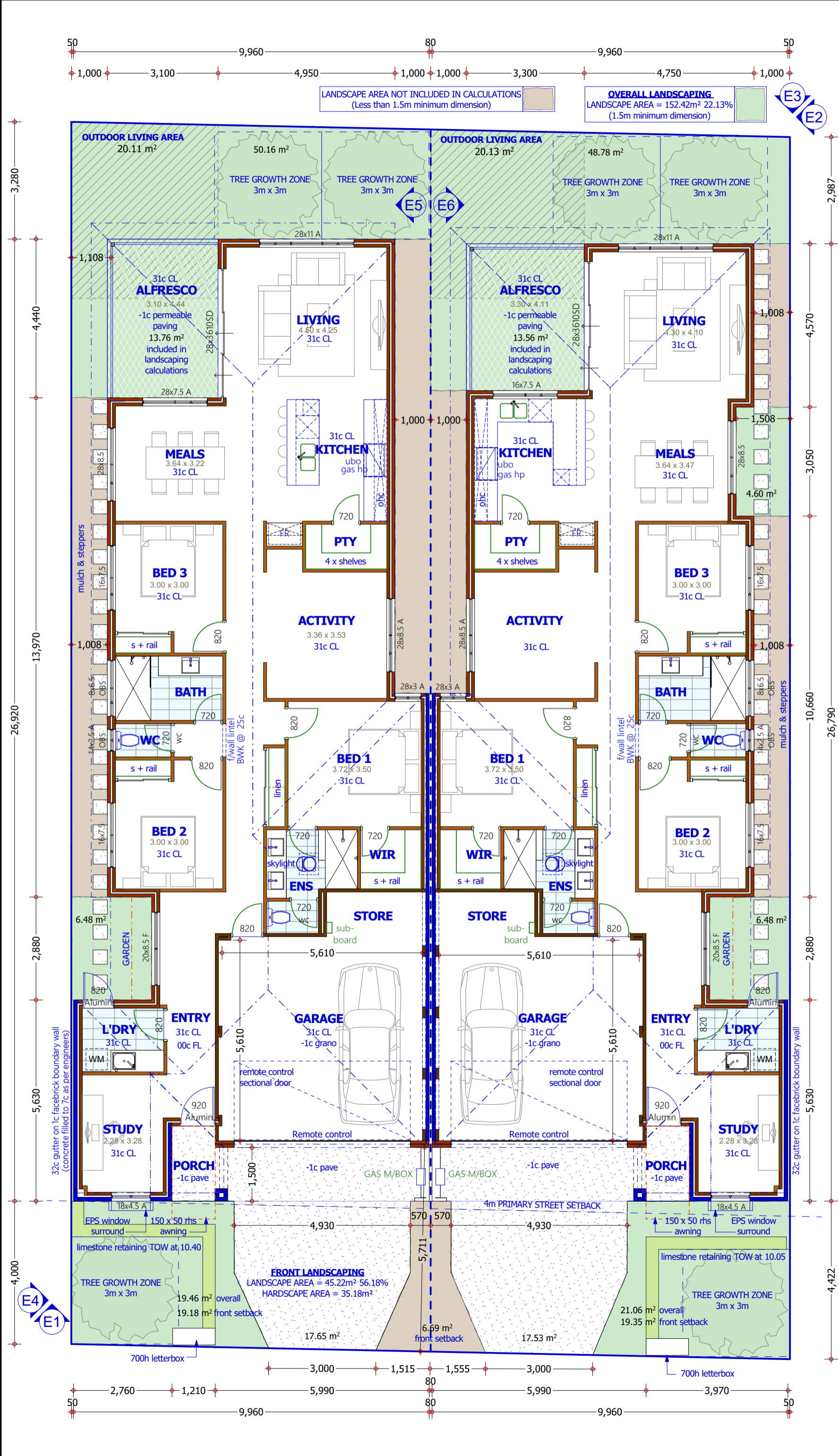
**SALES CONSULTANT:**  
**Mark Peers**  
**LOCAL AUTHORITY:**  
**City of Joondalup**  
 ZONING: R20/40  
 SITE AREA: 688m<sup>2</sup>  
 SITE COVER: 59.85%

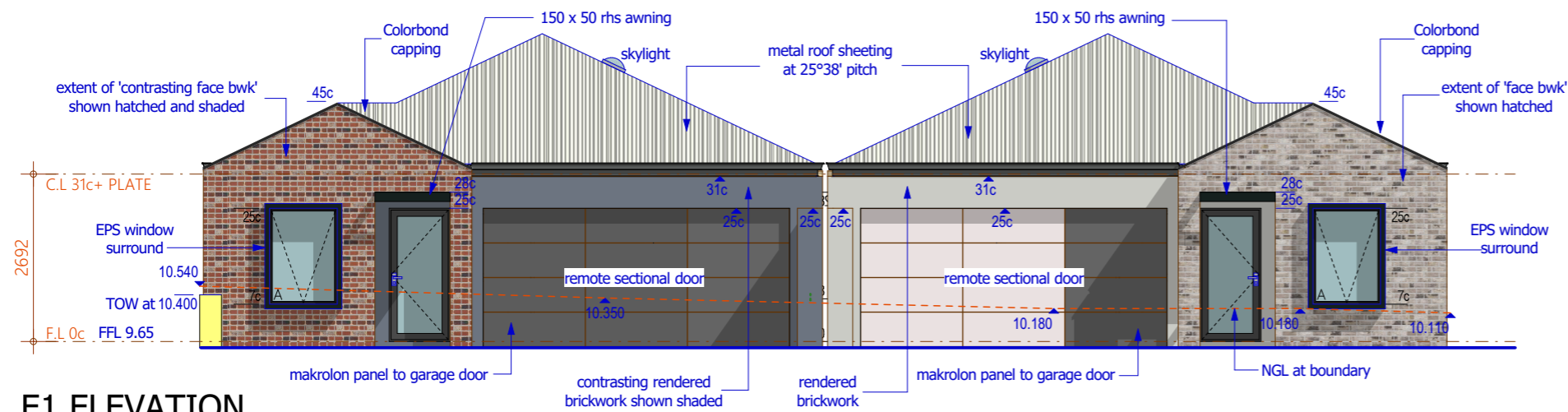
PROPOSED RESIDENCE TO BE ERRECTED ON:  
**Lot 21 (#52) HALGANIA WAY**  
**DUNCRAIG**  
 FOR:  
**TOGETHER HOMES**



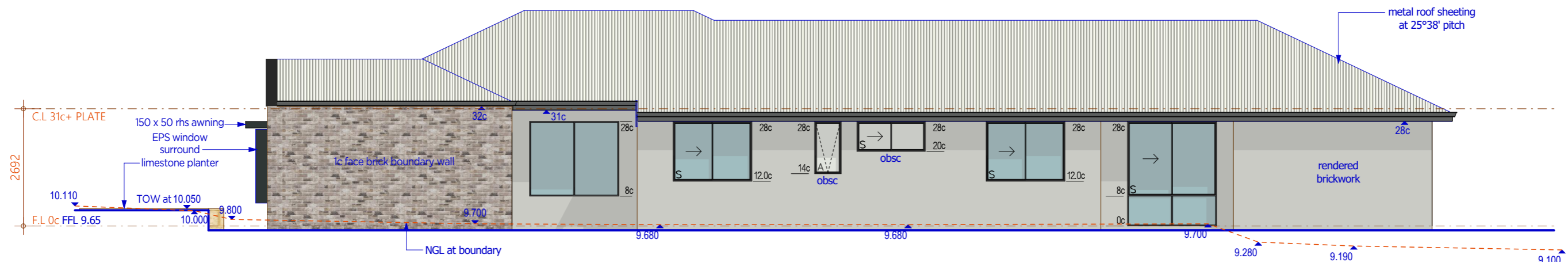
**FLOOR PLANS**  
 1:100

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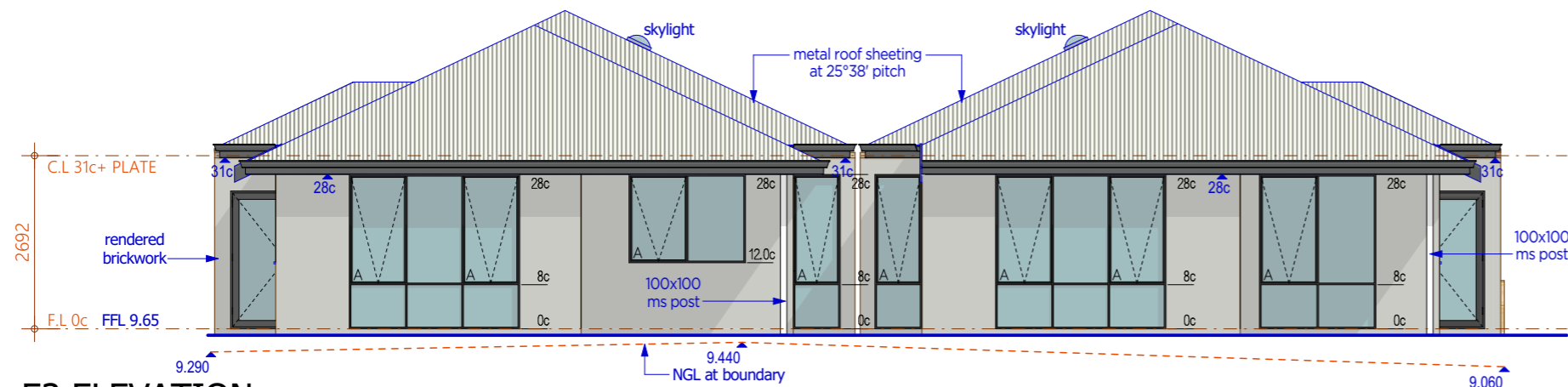




**E1 ELEVATION**  
1:100



**E2 ELEVATION**  
1:100



**E3 ELEVATION**  
1:100

**ELEVATIONS**  
1:100



PROPOSED RESIDENCE TO BE ERRECTED ON:  
**Lot 21 (#52) HALGANIA WAY  
DUNCRAIG**  
FOR:  
**TOGETHER HOMES**

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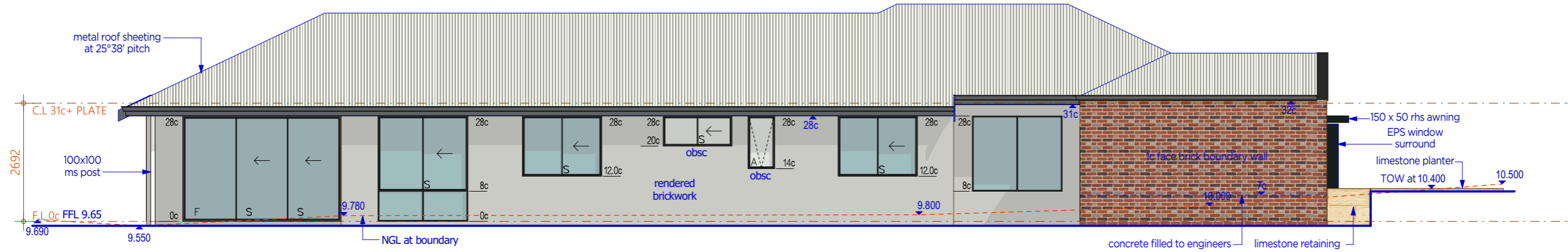
SALES CONSULTANT:  
**Mark Peers**  
LOCAL AUTHORITY:  
**City of Joondalup**  
ZONING: R20/40  
SITE AREA: 688m<sup>2</sup>  
SITE COVER: 59.85%

AMENDMENTS:  
08/12/23 RS  
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PLANNING DRAWINGS  
REV A

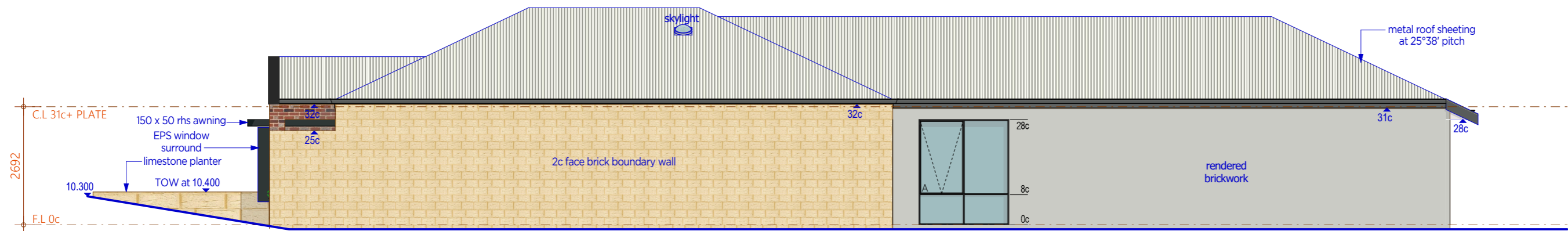
**A3 SHEET**

SHEET: 3 of 6  
DRN: RS  
DATE: 8/12/23

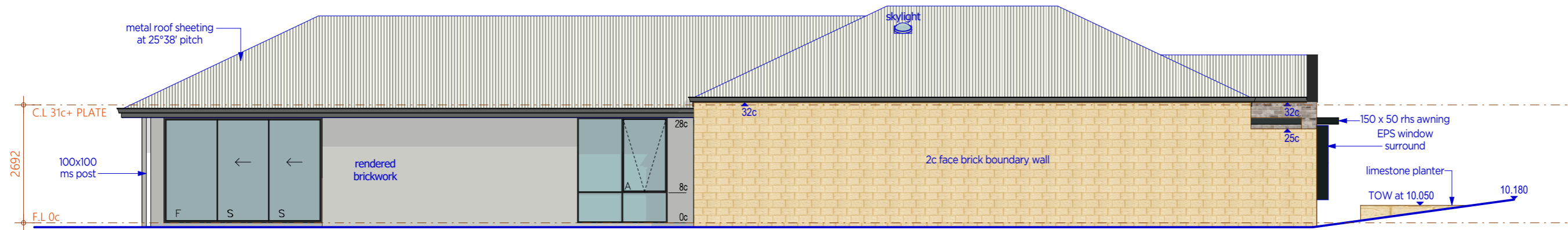
CONTRACT NO:  
**5005 & 5006**



**E4 ELEVATION**  
1:100



**E5 INTERNAL BOUNDARY ELEVATION**  
1:100



**E6 INTERNAL BOUNDARY ELEVATION**  
1:100

**ELEVATIONS**  
1:100



PROPOSED RESIDENCE TO BE ERRECTED ON:  
**Lot 21 (#52) HALGANIA WAY  
DUNCRAIG**  
FOR:  
**TOGETHER HOMES**

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SALES CONSULTANT:  
**Mark Peers**  
LOCAL AUTHORITY:  
**City of Joondalup**  
ZONING: R20/40  
SITE AREA: 688m<sup>2</sup>  
SITE COVER: 59.85%

08/12/23 RS  
24/01/24 RS

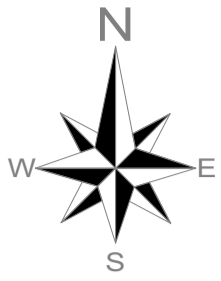
**AMENDMENTS:**  
PLANNING DRAWINGS  
REV A

**A3 SHEET**

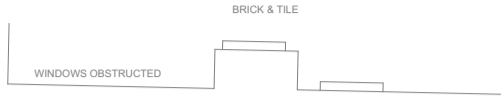
SHEET: 4 of 6  
DRN: RS  
DATE: 8/12/23

CONTRACT NO:  
**5005 & 5006**

⊕	POWER DOME
⊕	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN
⊕	TP=10.00 TOP PILLAR/POST
⊕	TW=10.00 TOP WALL
⊕	TR=10.00 TOP RETAINING
⊕	TF=10.00 TOP FENCE

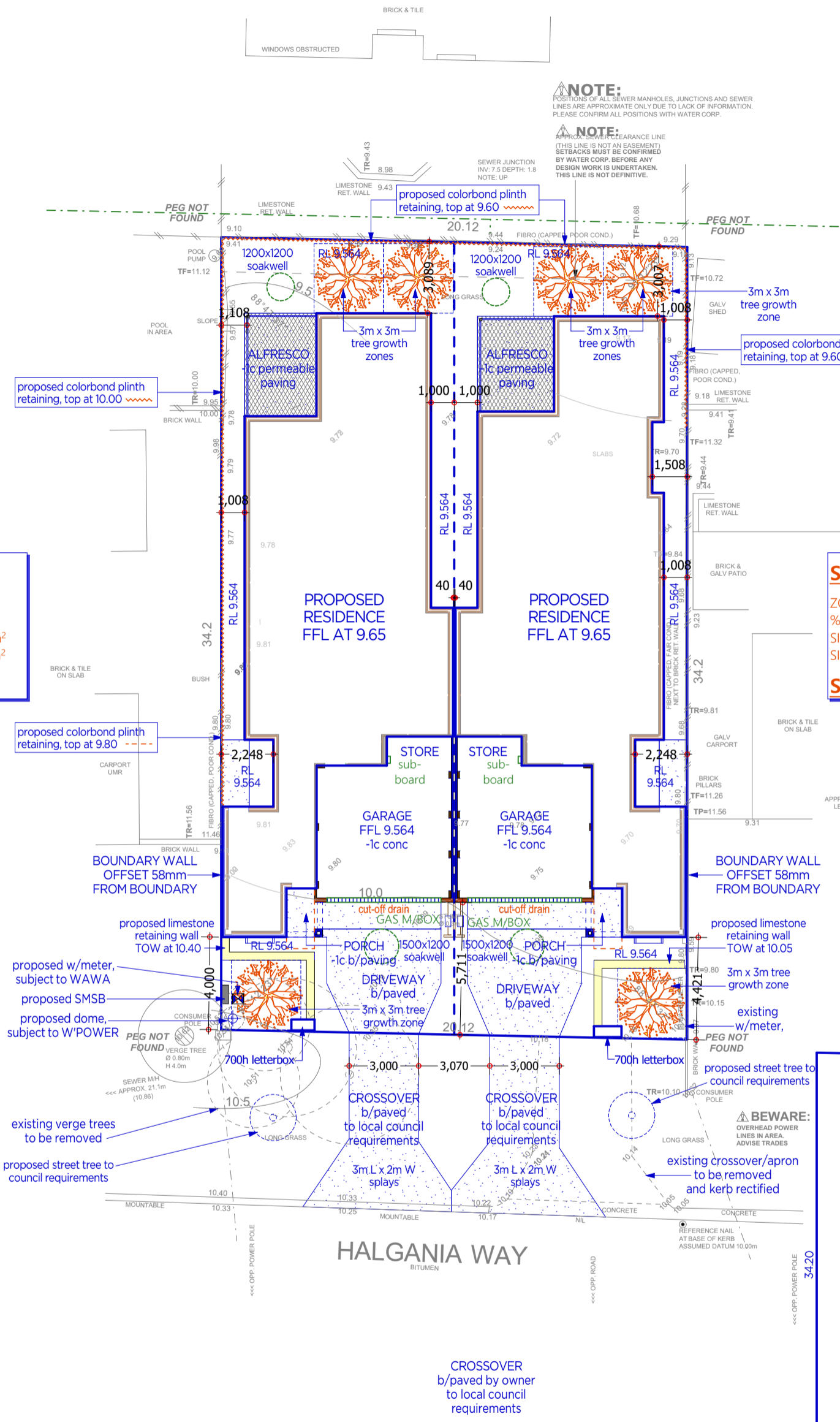


DUE TO THE ORIENTATION OF THE LOT  
THERE IS NO SHADOW CAST ONTO ADJOINING  
LOTS ON THE 21st OF JUNE AT MIDDAY



**NOTE:**  
POSITIONS OF ALL SEWER MANHOLES, JUNCTIONS AND SEWER  
LINES ARE APPROXIMATE ONLY DUE TO LACK OF INFORMATION.  
PLEASE CONFIRM ALL POSITIONS WITH WATER CORP.

**NOTE:**  
APPROXIMATE SEWER CLEARANCE LINE  
(THIS LINE IS NOT AN EASEMENT)  
SETBACKS MUST BE CONFIRMED  
BY WATER CORP. BEFORE ANY  
DESIGN WORK IS UNDERTAKEN.  
THIS LINE IS NOT DEFINITIVE.

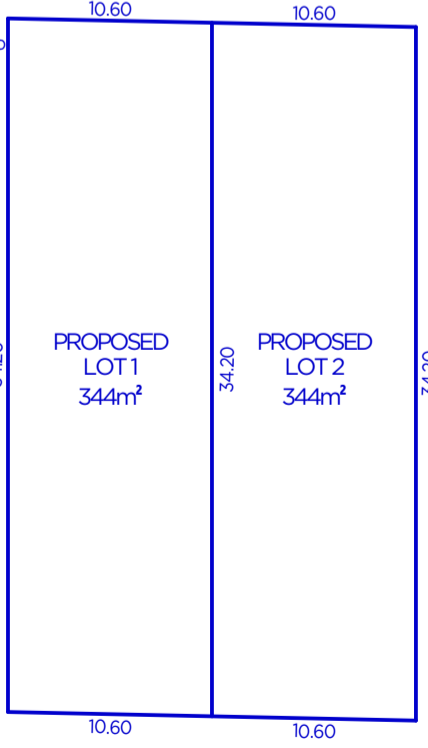


**SITE COVERAGE**

ZONED	R20/40
% ALLOWED	55%
SITE AREA	343.98m <sup>2</sup>
SITE COVER AREA	207.52m <sup>2</sup>
<b>SITE COV. = 60.3%</b>	

**SITE COVERAGE**

ZONED	R20/40
% ALLOWED	55%
SITE AREA	343.97m <sup>2</sup>
SITE COVER AREA	204.42m <sup>2</sup>
<b>SITE COV. = 59.4%</b>	



**Site Plan - PROPOSED**  
1:200

**PROPOSED STRATA PLAN**  
NOT TO SCALE



PROPOSED RESIDENCE TO BE ERRECTED ON:  
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SALES CONSULTANT:  
**Mark Peers**

LOCAL AUTHORITY:  
**City of Joondalup**

ZONING: R20/40  
SITE AREA: 688m<sup>2</sup>  
SITE COVER: 59.85%

AMENDMENTS:  
PLANNING DRAWINGS  
REV A

08/12/23 RS  
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**A3 SHEET**

SHEET: 5 of 6  
DRN: RS  
DATE: 8/12/23

CONTRACT NO:  
**5005 & 5006**