

Maple Mews

DRN	DATE	CHKD	DESCRIPTION
GWP	15/09/23	-	PLANNING DWGS
GWP	28/09/23	-	POST/PPA
PV	30/11/23	-	TREE/CROSSOVE



BPA: NO
SHEET: 1a of 3

Road: Bitumen
Kerb: Mountable
Electricity: Underground
Soil: Sandy
Vegetation: Long Grass
Sewer: Yes Depth: 1.7m

Notes: Owner to Check Certificate of Title for easements covenants etc. This plan is a site contour survey only. Boundary peg positions and location of fences or walls, in relation to the boundary, is not guaranteed. Sewer information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworks/set out dimensions may vary on site at builder's discretion.

PROPOSED SITE PLAN

Address: **LOT 675 (No. 11)**
Maple Mews, Duncraig

Client: **Bedford & Underwood**

Local Authority: **City Of Joondalup**

Plan/Dia: **P. 17610 C/T Vol: 1881/830**

Map Reference: **Map 206.P:12**

Date: **5/09/23** Scale: **1:200**

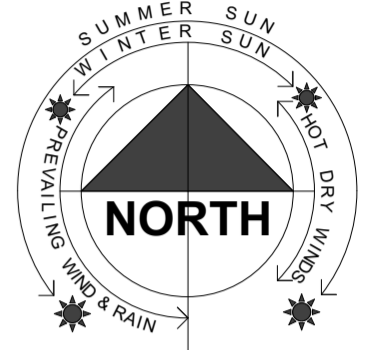
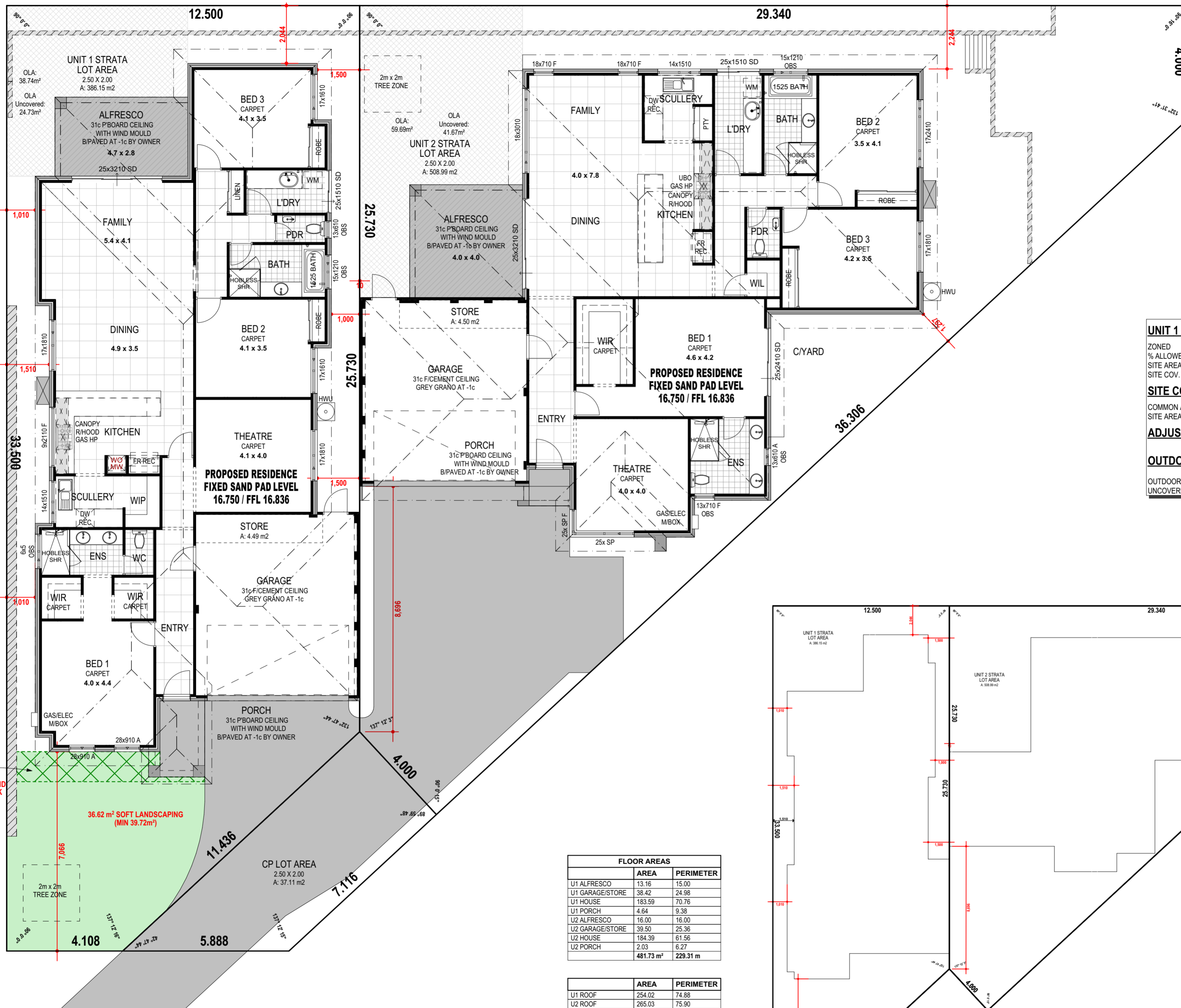
Ross North Homes

Job No. **9171 & 9172**

Our Job No. **72495**

Drake Surveys

61 FYFE CIRCLE
BULLCREEK, WA 6149
PH 9332 4948
EM drakesurveys@westnet.com.au



UNIT 1 SITE COVERAGE

ZONED	R20/40
% ALLOWED	50%
SITE AREA	386.15m ²
SITE COV. AREA	222.01m ²
SITE COV. = 57.5%	
COMMON AREA (37m ² /2)	19m ²
SITE AREA + COMMON AREA	405m ²
ADJUSTED SITE COVERAGE = 54.86%	
OUTDOOR LIVING REQUIREMENTS	
OUTDOOR LIVING	REQUIRED 30.0m ² ACHIEVED 38.7m ²
UNCOVERED AREA	REQUIRED 20.0m ² ACHIEVED 24.1m ²

UNIT 2 SITE COVERAGE

ZONED	R20/40
% ALLOWED	50%
SITE AREA	508.99m ²
SITE COV. AREA	224.77m ²
SITE COV. = 44.2%	
COMMON AREA (37m ² /2)	19m ²
SITE AREA + COMMON AREA	528m ²
ADJUSTED SITE COVERAGE = 42.61%	
OUTDOOR LIVING REQUIREMENTS	
OUTDOOR LIVING	REQUIRED 30.0m ² ACHIEVED 59.7m ²
UNCOVERED AREA	REQUIRED 20.0m ² ACHIEVED 41.4m ²

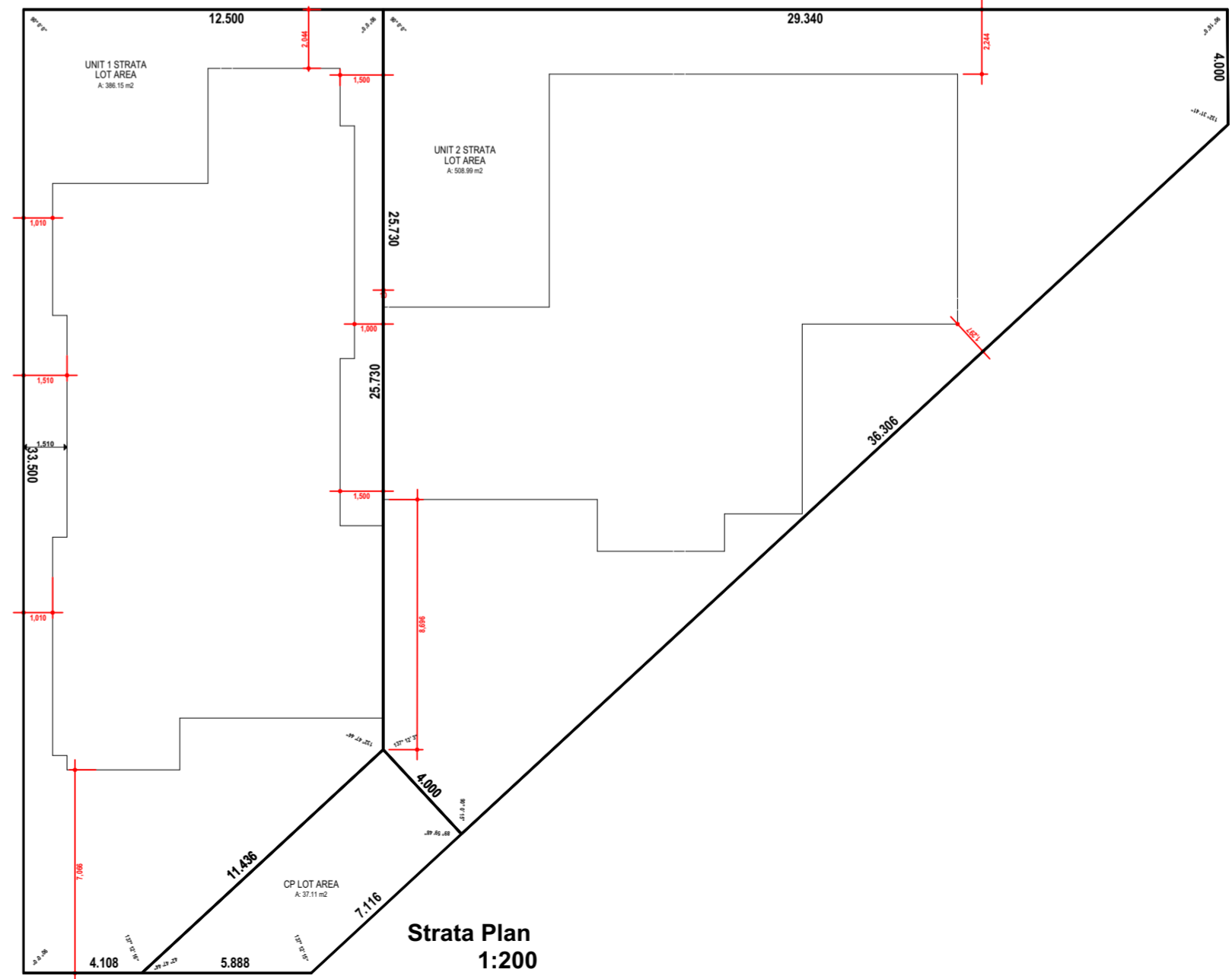
5.51 m² ADDITIONAL SOFT LANDSCAPING BEYOND 6m STREET SETBACK

36.62 m² SOFT LANDSCAPING (MIN 39.72m²)

FLOOR AREAS

	AREA	PERIMETER
U1 ALFRESCO	13.16	15.00
U1 GARAGE/STORE	38.42	24.98
U1 HOUSE	183.59	70.76
U1 PORCH	4.64	9.38
U2 ALFRESCO	16.00	16.00
U2 GARAGE/STORE	39.50	25.36
U2 HOUSE	184.39	61.56
U2 PORCH	2.03	6.27
	481.73 m²	229.31 m

	AREA	PERIMETER
U1 ROOF	254.02	74.88
U2 ROOF	265.03	75.90



Strata Plan 1:200

Senior Design & Sales Consultant
Peter Grickage
Mobile: 0419 904 677
Email: peterg@rossnorthgroup.com.au

GENERAL NOTES:
RENDERED BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE
31c CEILINGS TO WHOLE HOUSE UNLESS NOTED OTHERWISE
2340mm HIGH INTERNAL DOORS THROUGHOUT UNLESS NOTED OTHERWISE

COMPLIANCE NOTES:
PLANNING
PLANNING REQ. DUE TO PROPOSED SUBDIVISION & SITE COVER VARIATION

ACOUSTIC AND NOISE
NOT APPLICABLE
DESIGN MAY BE SUBJECT TO 5.4 ROAD AND RAIL TRANSPORT POLICY, FINAL NOISE REQUIREMENTS TO BE DETERMINED

ENERGY
DESIGN MAY REQUIRE FURTHER CHANGES TO COMPLY WITH THE ENERGY EFFICIENCY PROVISIONS/STAR RATING REQ. TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA DUE TO CLIMATE ZONE 52

PROJECT INFO:
LDP: N/A
Zoning: R20/40
Primary Setbacks:
Minimum 3m Maximum N/A
Average 6m
Estate: N/A
Guidelines: N/A
Climate Zone: 52
BPA Zone: NO
Coastal: N/A
Acoustic Req: Road & Rail

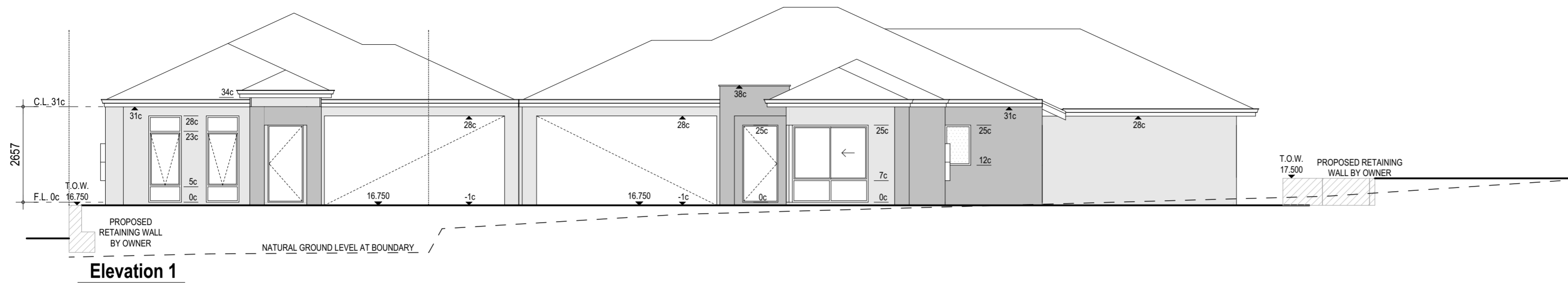
Ross North GROUP
RN Developments
Custom Design
Complete Living Spec
Job No: 9172-72

PROPOSED NEW HOME:
For Mr P & Mrs J Bedford & Mrs J Hill
At Lot 675 (#11) Maple Mews
DUNCRAIG

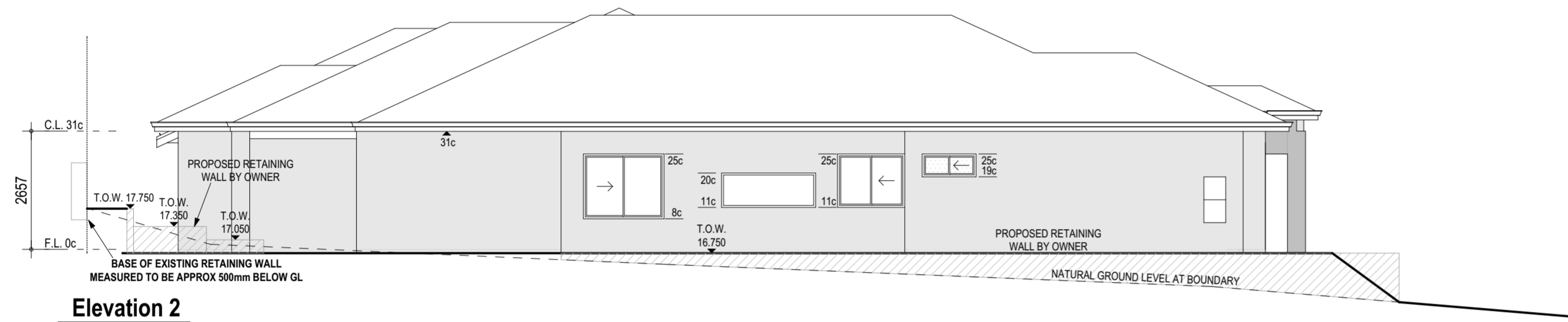
V21 These are the plans referred to in our contract

WIND:	CLASS: N1	DRN	DATE	CHK'D	DESCRIPTION
SHIELDING: FS		GW/P	15/09/23	-	PLANNING DWGS
		GW/P	28/09/23	-	Post PPA
		PV	30/11/23	-	TREE/CROSSOVER
BPA:	NO				
SCALE:	1:100				
SHEET:	2 of 3				

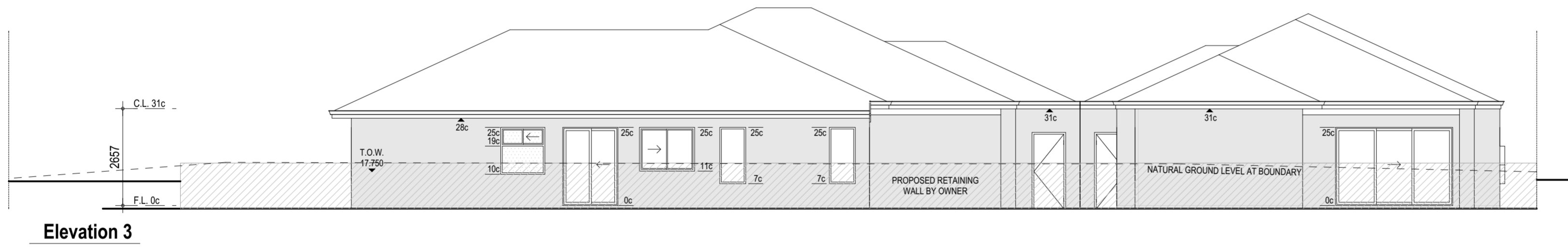
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Ross North Group reserves the right to vary dimensions and materials from those on display.
Client to check plans, specifications and addenda carefully.
All dimensions strictly to take preference over scaling. Dimensions shown are for brickwork only & do not include plaster or tile thickness.
Plumber Note floor wastes to be located as per plumbing plan
Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.



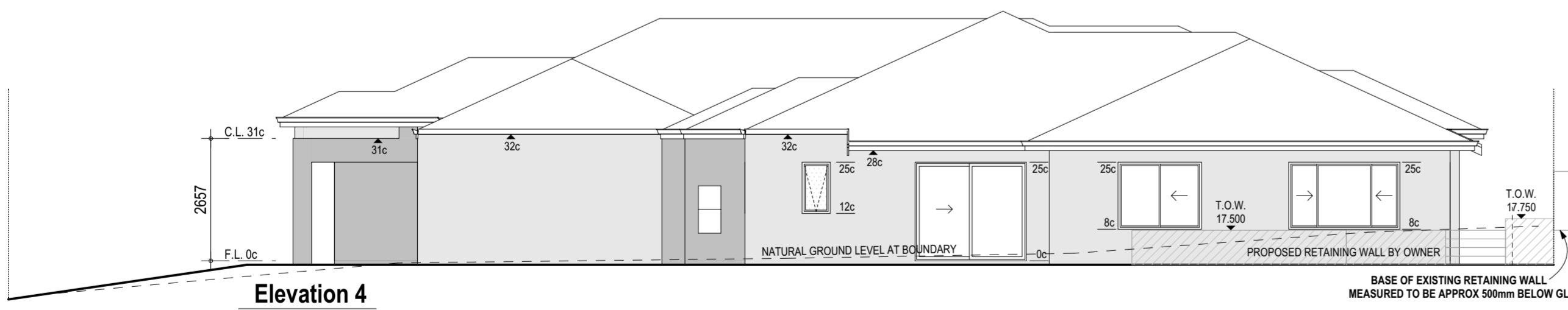
Elevation 1



Elevation 2



Elevation 3



Elevation 4

ELEVATION LEGEND	
ROOF COVER	COLOURED CORRUGATED METAL @ APPROX. 25° PITCH
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE


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Custom Design
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 Job #: **9172 - 72**

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DUNCRAIG

V21 These are the plans referred to in our contract
 DATE _____
 OWNER _____ BUILDER _____
 OWNER _____ WITNESS _____

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SHIELDING:	FS	GWP	15/09/23	-	PLANNING DWGS
BPA:	NO	GWP	28/09/23	-	Post PPA
SCALE:	1:100	PV	30/11/23	-	TREE/CROSSOVE
SHEET:	3 of 3				

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