

**CONCRETE NOTE:**  
 SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

**STORMWATER NOTE:**  
 STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

SITE CLASSIFICATION : A  
 FOOTING DETAIL : A85  
 WIND CATEGORY : N2  
 CORROSION CLASS : R3

**TERMITE TREATMENT NOTE:**  
 TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:  
 \*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600  
 \*MASONRY IN ACCORDANCE WITH AS3700  
 \*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

**OVERSHADOWING DIAGRAM:**  
 SHADOW CAST ON JUNE 21ST AT 12 PM  
 NEIGHBOURING LOT 475 SIZE: 774.0m<sup>2</sup>  
 OVERSHADOWING: 52.97m<sup>2</sup> = 6.84%

Proposed Panel + Post Retaining. Panel & Post Retaining (required)  
 - LOCATION OF SERVICES

**ELECTRICAL NOTE:**  
 3 - PHASE POWER

**SITE COVERAGE**  
 ZONED R20  
 % ALLOWED 50%  
 SITE AREA 758.51m<sup>2</sup>  
 SITE COV. AREA 307.60m<sup>2</sup>  
**SITE OPEN-SPACE =59.4%**

No.	Soak Well Type
5.4 m3	4 SW 1200x1200
5.4 m3	Total Capacity
388.9 m2	Roof Area GF
29.4 m2	Paved Area
418.3 m2	Total Area
5.2 m3	Capacity Required (Area x 0.0125)
0.2 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

**NOTE:**  
 POSITIONS OF ALL SEWER MANHOLES, JUNCTIONS AND SEWER LINES ARE APPROXIMATE ONLY DUE TO LACK OF INFORMATION. PLEASE CONFIRM ALL POSITIONS WITH WATER CORP.

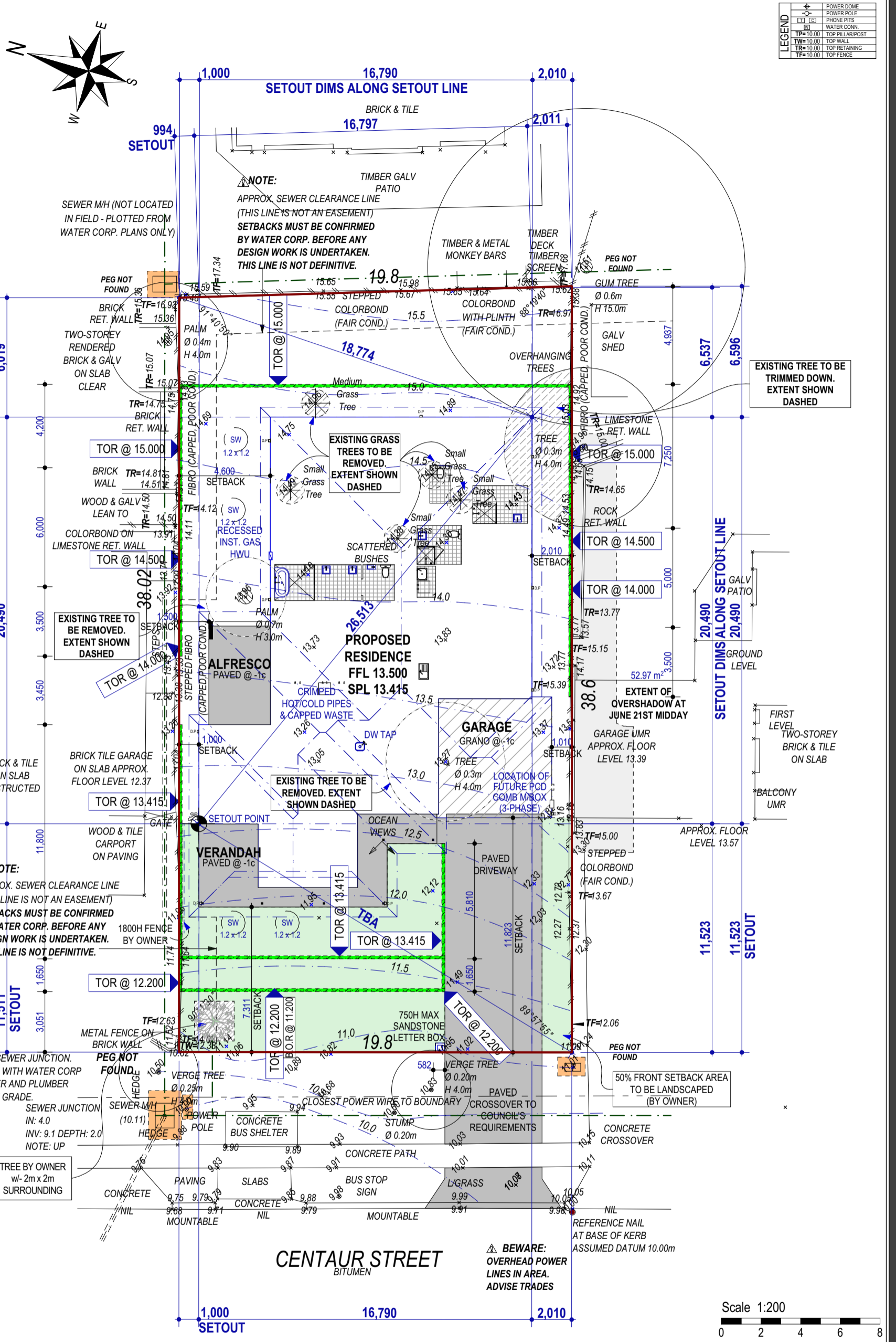
**LOT MISCLOSE**  
 0.010 m

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



**LEGEND**

⊕	POWER DOME
⊙	POWER POLE
⊚	PHONE PITS
⊛	WATER CONN.
⊜	TOP PILLAR/POST
⊝	TOP WALL
⊞	TOP RETAINING
⊟	TOP FENCE

Scale 1:200  
 0 2 4 6 8

**COTTAGE SURVEYS**  
 LICENSED SURVEYORS

87-89 Guthrie Street  
 Osborne Park, WA 6017  
 PO Box 1611  
 Osborne Park  
 Business Centre WA 6917  
 P: (08) 9446 7361  
 E: perth@cottage.com.au  
 W: www.cottage.com.au

JOB #	551990	GPS	Lat: -31.783439 Long: 115.750444
CLIENT	SHIBANOV	ORDER #	2307004R
ADDRESS	#14 Centaur Street	LOT	Lot 477 (Plan 10193)
SUBURB	Kallaroo	LGA	CITY OF JOONDALUP
AREA	759m <sup>2</sup>	VOL.	1321
DATE	28 Jul 23	FOL.	314
SSA No		VEGETATION	Light Grass Cover

ROADS	Bitumen	ELEC.	O/Head
KERBS	Mountable / Nil	COMMS.	Yes
FOOTPATH	Concrete	WATER	Yes
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Light Grass Cover	COASTAL	No

**THE BELVOIR**  
**SITE PLAN**  
 DATE: 20/12/2023  
 SCALE: 1:100, 1:200  
 REVISION N°: 01  
 SHEET N°: 03 of 14  
 JOB N°: 2307004

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:  
 OWNER .....DATE.....  
 OWNER .....DATE.....  
 BUILDER .....DATE.....

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 BUILDERS REGISTRATION N° 13521  
 9 SANGIORGIO COURT  
 OSBORNE PARK WA 6017  
 Phone (08) 9208 9100 Fax (08) 9208 9102  
**22,056**

**VARIATIONS:**

REV.	DESCRIPTION:	INT.	DATE:
1'	CONTRACT DRAWINGS	JJM	20.12.23

CLIENT: **SHIBANOVA**  
 SITE ADDRESS: **LOT 477 (#14) CENTAUR STREET**  
**KALLAROO WA 6025**  
 SALES: ANM DRAWN: JJM CHECKED: KB

**CL @ 31c THRU/OUT**  
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE  
CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.  
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS  
(NO PLASTER)  
EXTENT OF RENDER AS MARKED.  
REFER TO ELEVATIONS.

**BRICKLAYER NOTE**  
RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.  
CUT BWK DOWN TO SUIT BENCHTOP SELECTION.  
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS  
TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

**ROOF CARPENTER NOTE**  
NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF  
FRAME CONSTRUCTION  
CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO  
550 X 550 AT MANHOLE LOCATION  
ENSURE ROOFING MEMBERS ARE KEPT CLEAR  
OF RANGEHOOD FLUE

**PLUMBER NOTE**  
DOWNPIPE & FLOOR WASTE LOCATIONS ARE  
INDICATIVE ONLY & MAY CHANGE AT THE  
DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

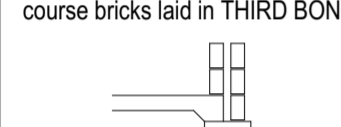
**FIXING CARPENTER NOTE**  
ALL ROBES TO HAVE 1X SHELF & HANGING RAIL  
450W  
ALL LINENS, BUILT-IN PTRY'S, INTERNAL STORES  
TO HAVE 4X SHELVES @ 400 CTS 450W  
BROOM & CLOAK CUPDS TO HAVE 1X SHELF  
ALL TOP SHELVES @ 1750 AFL, BED 3 TOP SHELF  
@ 1800 AFL

FLOOR COVERINGS: REFER TO ADDENDA

**OTHER NOTES**  
PROVIDE R4.1 INSULATION TO CEILING THRU/  
OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED  
"CONSTRUCTION ISSUE" IF DWGS ARE NOT  
STAMPED, PLEASE CONTACT THE OFFICE  
BEFORE PROCEEDING WITH ORDERING,  
MANUFACTURE, OR ON-SITE CONSTRUCTION  
UPPER FLOOR TO BE TIED DOWN TO GROUND  
FLOOR AS PER ENGINEERS SPECIFICATION

**BRICKLAYER NOTE:**  
EXTERNAL BRICKS TO BE 290 X  
162 X 90 (1st external course to be 2  
course bricks laid in THIRD BOND)



**RENDER NOTE:**  
EXTENT OF RENDER TO FRONT ELEVATION AND  
RETURNS ONLY.

RENDER COLOUR 1:  
EXTENT AS SHOWN ON PLANS.

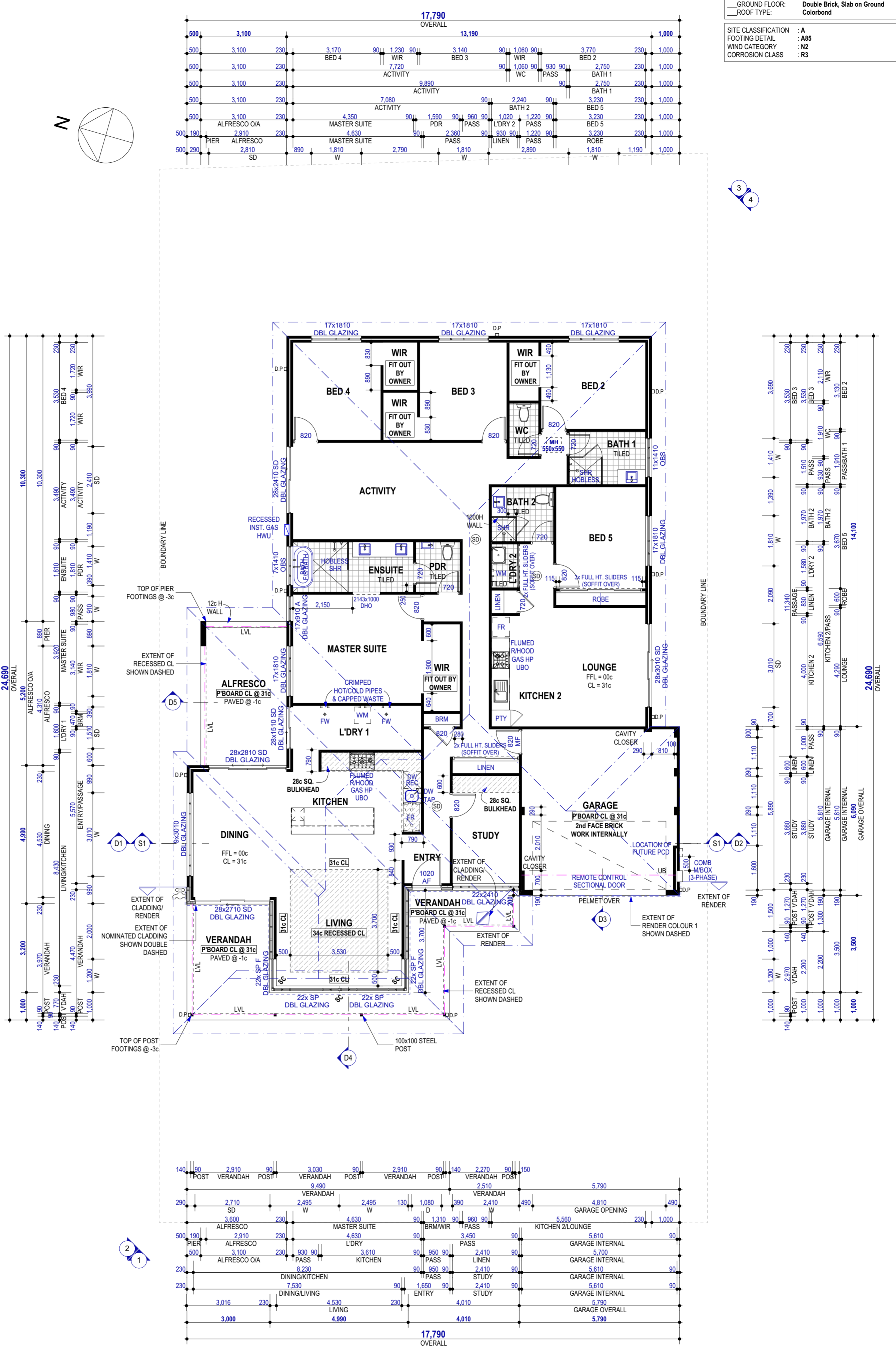
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\*PRESERVATIVE TREATED TIMBER IN  
ACCORDANCE WITH AS1604 AND APPENDIX  
D OF AS3660.1:2014

**GLAZING NOTE:**  
DOUBLE GLAZING TO ALL EXTERNAL  
WINDOWS AND SLIDING DOORS, EXCLUDING  
OBSCURE, HINGED, OR SILICONE JOIN  
GLAZING.

**INTERNAL DOORS NOTE:**  
ALL INTERNAL DOORS TO BE 2040H (25C) U.N.O

— BUILD METHOD: CFBW  
— GROUND FLOOR: Double Brick, Slab on Ground  
— ROOF TYPE: Colorbond

SITE CLASSIFICATION : A  
FOOTING DETAIL : A85  
WIND CATEGORY : N2  
CORROSION CLASS : R3



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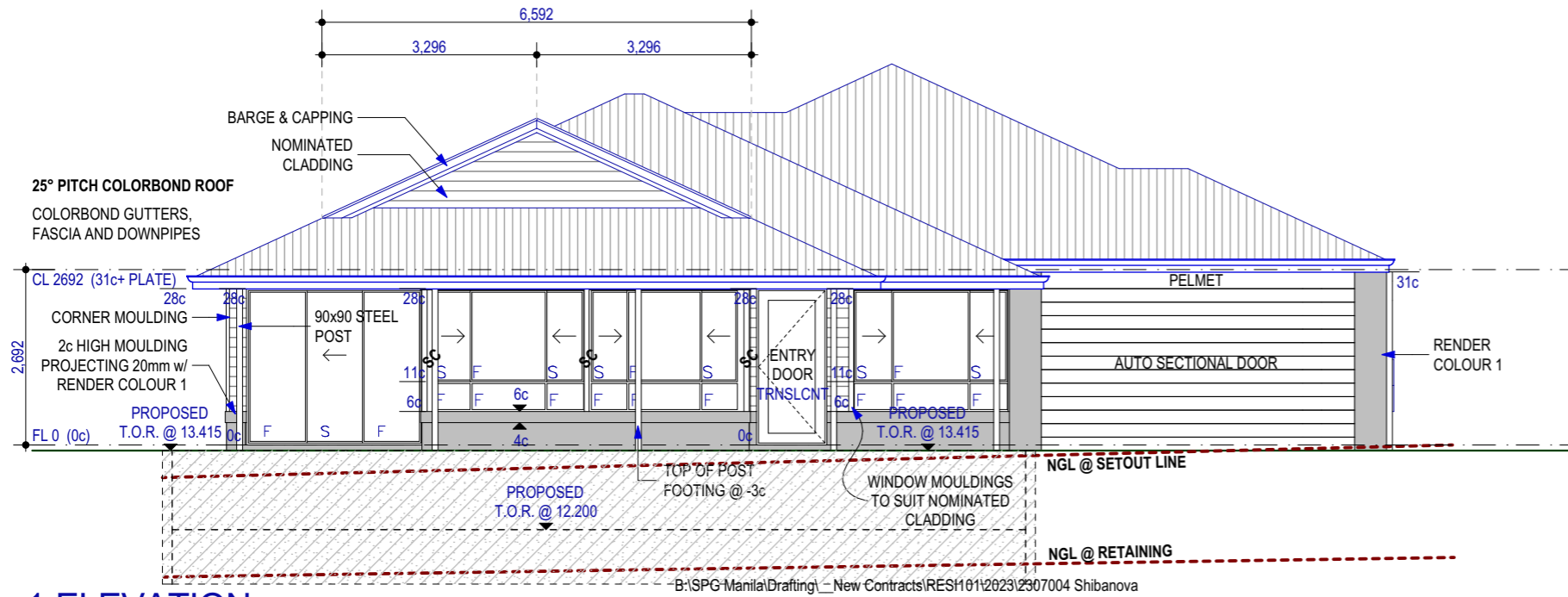
101  
BUILDERS REGISTRATION N° 13521  
9 OSBORNE PARK, WA 6017  
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:	DESCRIPTION:	INT.	DATE:
REV:	CONTRACT DRAWINGS	JJM	20.12.23

CLIENT:  
**SHIBANOVA**  
SITE ADDRESS:  
**LOT 477 (#14) CENTAUR  
STREET  
KALLAROO WA 6025**  
SALES: ANM DRAWN: JJM CHECKED: KB

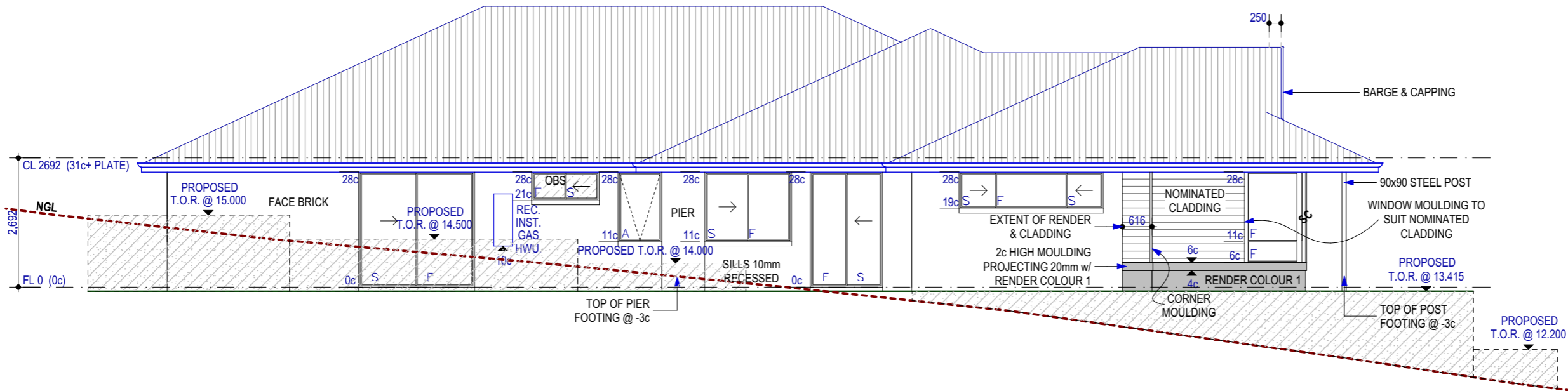
**THE BELVOIR**  
**FLOOR PLAN (A2)**  
DATE: 20/12/2023 SHEET N°:  
SCALE: 1:1, 1:100 05 of 14  
REVISION N°: 01 JOB N°: 2307004

AREAS		
Name	Area	Perimeter
RESIDENCE	222.028	83.140
ANCILLARY	50.506	29.060
GARAGE	34.308	23.760
VERANDAH	28.392	39.800
ALFRESCO	16.120	16.600
<b>TOTAL</b>	<b>351.354 m²</b>	



**NOMINATED CLADDING NOTE:**  
 - SCYON LINEA CLADDING TO GABLE & FRONT ELEVATION.  
 - WINDOW MOULDINGS - TBA  
 - 50mm x 50mm CORNER EDGING TO NOMINATED CLADDING EXTERNAL WALLS.  
 TO SUIT MANUFACTURERS DETAILS.

**1 ELEVATION**  
1:100



**2 ELEVATION**  
1:100

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 BUILDER .....DATE.....

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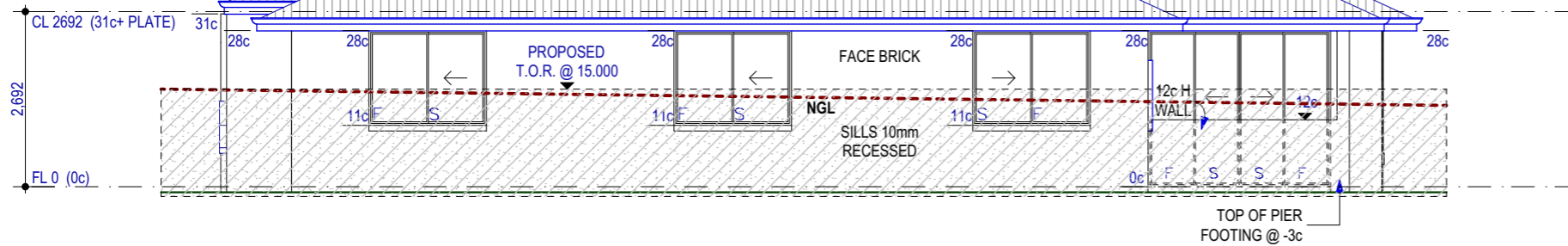
BUILDERS REGISTRATION N° 13521  
 9 SANGIORGIO COURT  
 OSBORNE PARK WA 6017  
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REV.	DESCRIPTION:	INT.	DATE:
1'	CONTRACT DRAWINGS	JJM	20.12.23
2'			
3'			
4'			
5'			
6'			
7'			
8'			
9'			

CLIENT: **SHIBANOVA**  
 SITE ADDRESS:  
**LOT 477 (#14) CENTAUR STREET**  
**KALLAROO WA 6025**  
 SALES: ANM DRAWN: JJM CHECKED: KB

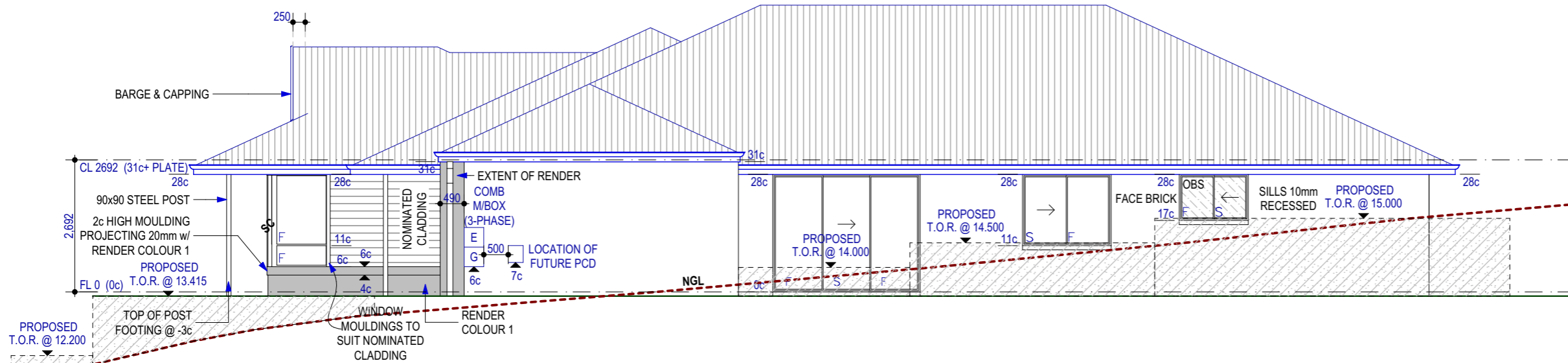
**THE BELVOIR ELEVATIONS 01**  
 DATE: 20/12/2023 SHEET N°: 06 of 14  
 SCALE: 1:100  
 REVISION N°: 01 JOB N°: 2307004

25° PITCH COLORBOND ROOF  
 COLORBOND GUTTERS,  
 FASCIA AND DOWNPIPES



**NOMINATED CLADDING NOTE:**  
 - SCYON LINEA CLADDING TO GABLE &  
 FRONT ELEVATION.  
 - WINDOW MOULDINGS - TBA  
 - 50mm x 50mm CORNER EDGING TO  
 NOMINATED CLADDING EXTERNAL WALLS.  
 TO SUIT MANUFACTURERS DETAILS.

**3 ELEVATION**  
 1:100



**4 ELEVATION**  
 1:100

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BUILDER .....DATE.....

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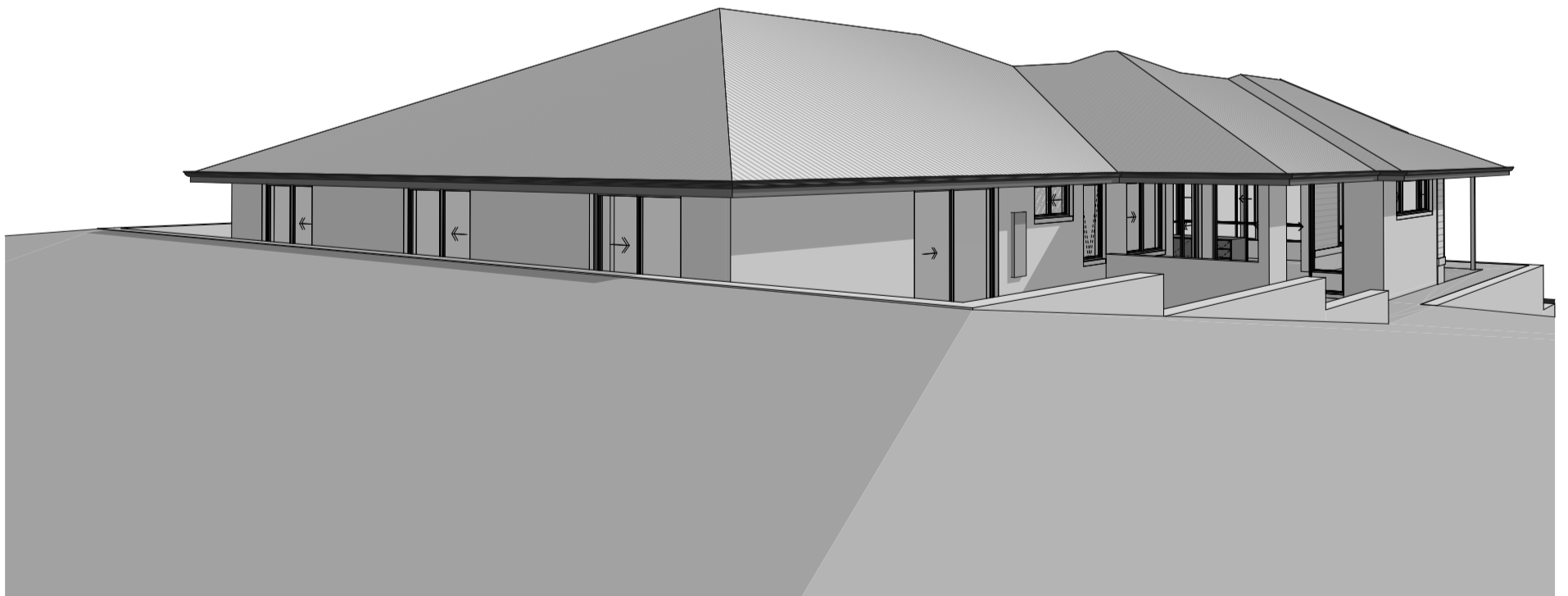
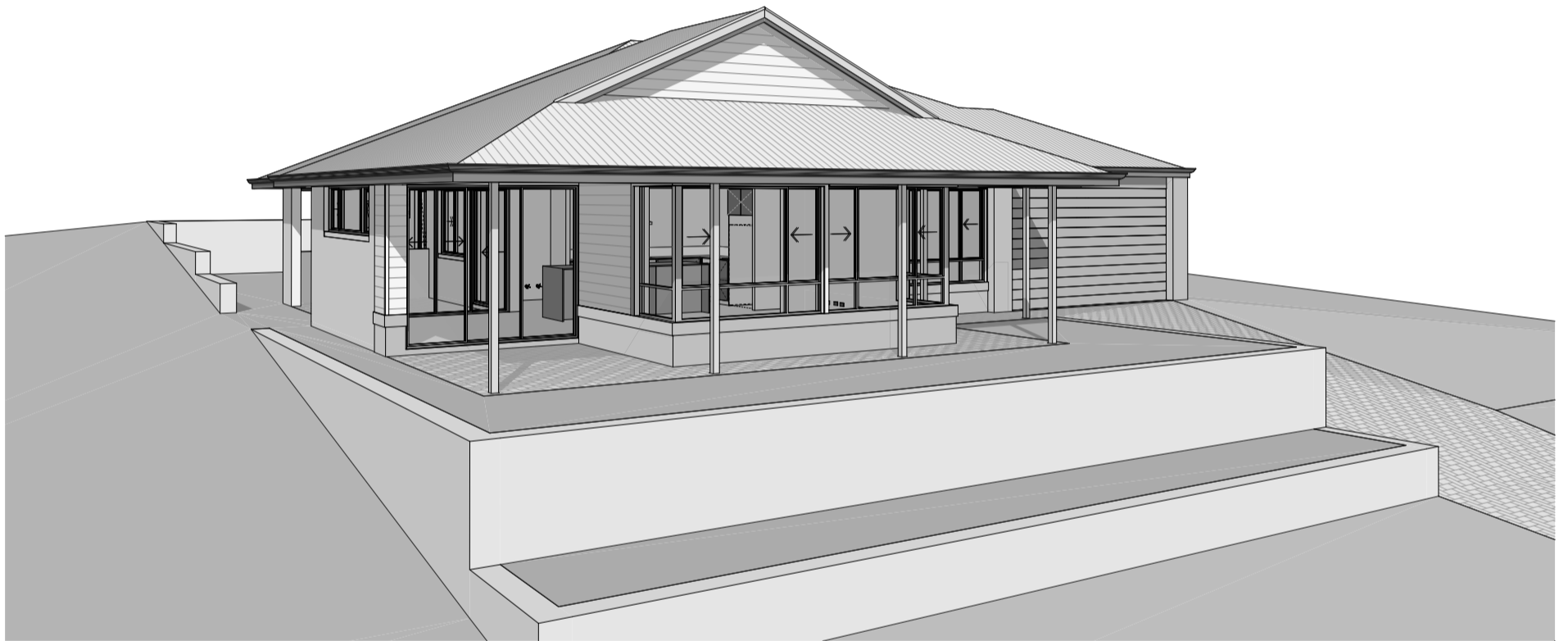
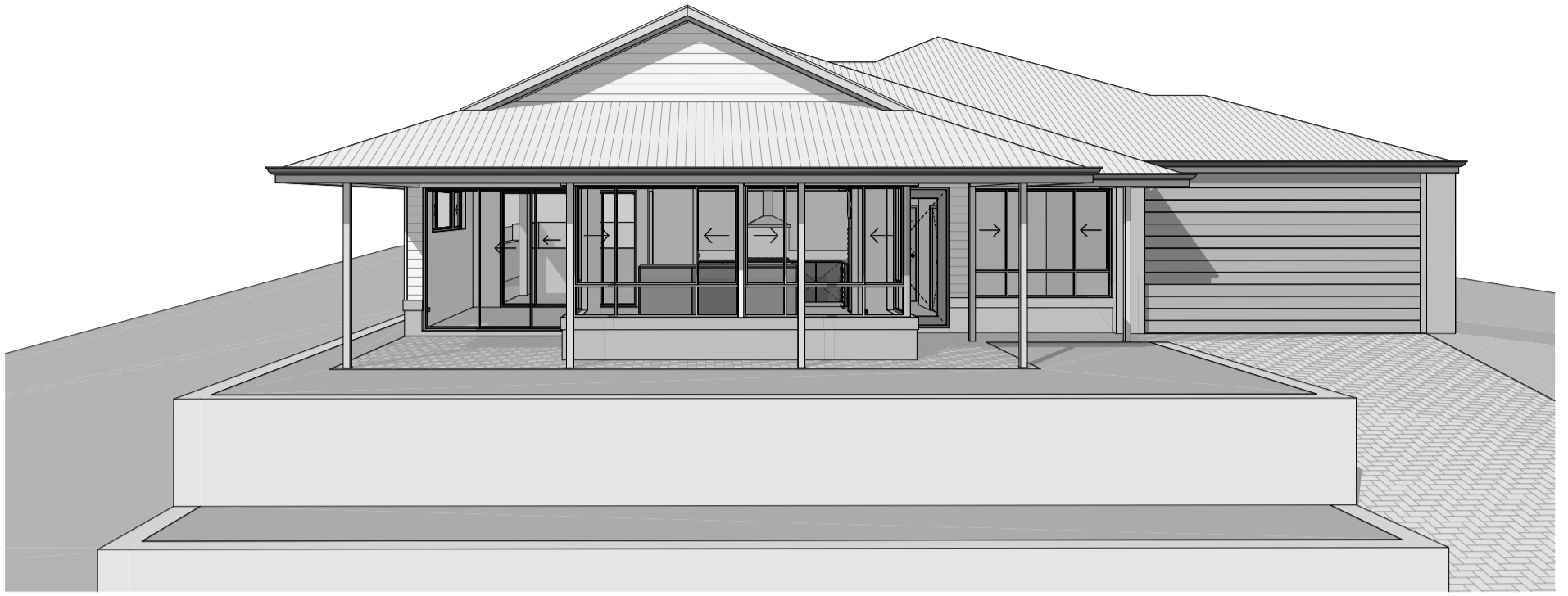


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'6'			
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'9'			

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**KALLAROO WA 6025**  
 SALES: ANM DRAWN: JJM CHECKED: KB

THE BELVOIR ELEVATIONS 02	
DATE: 20/12/2023	SHEET N°: 07 of 14
SCALE: 1:100	
REVISION N°: 01	JOB N°: 2307004



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**SHIBANOVA**

SITE ADDRESS:

**LOT 477 (#14) CENTAUR STREET**

**KALLAROO**

**WA 6025**

SALES: ANM DRAWN: JJM CHECKED: KB

**THE BELVOIR**

**PERSPECTIVES**

DATE: 20/12/2023

SCALE: 1:100

REVISION N°: 01

SHEET N°:

14 of 14

JOB N°: 2307004