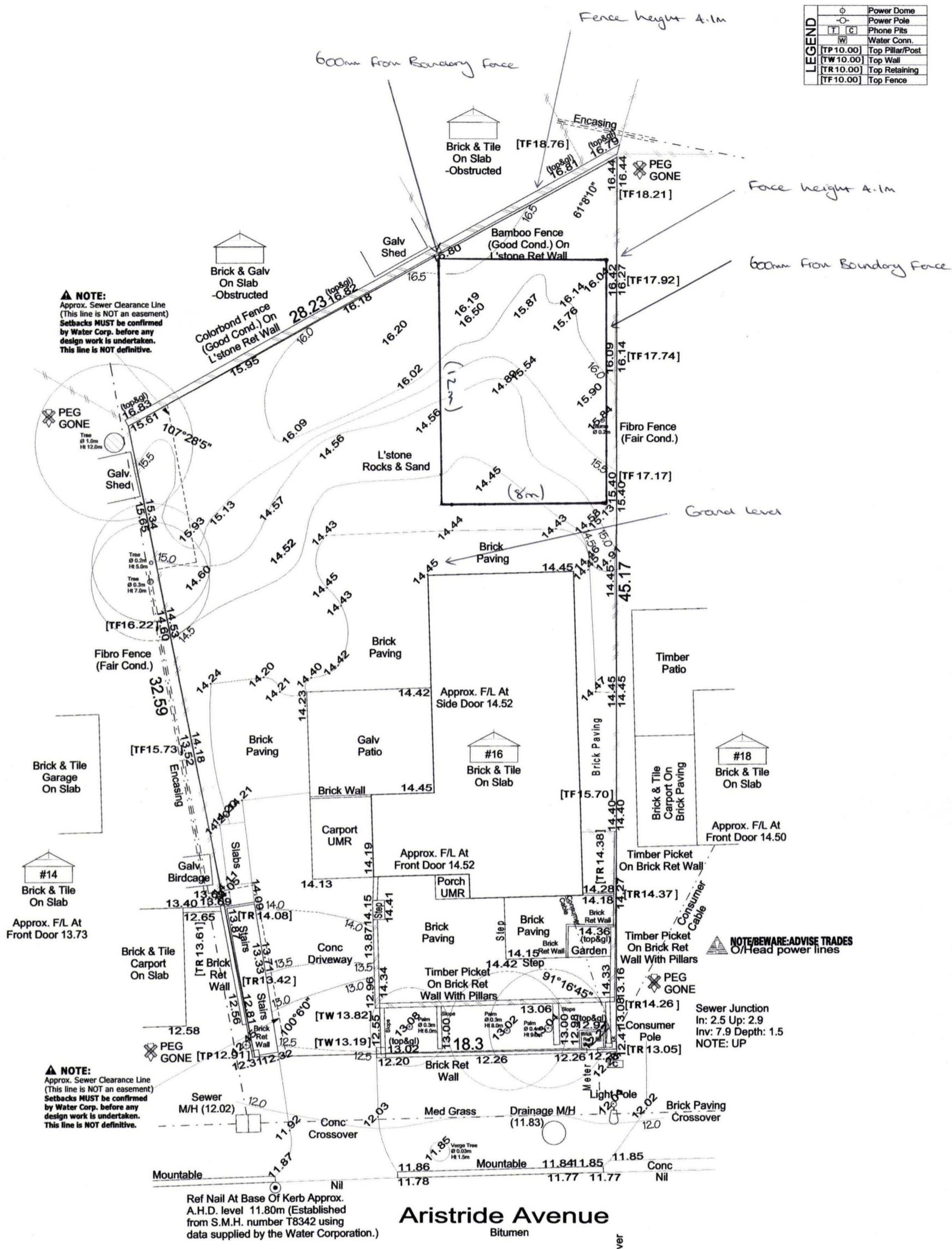


|          |                 |
|----------|-----------------|
| ○        | Power Dome      |
| ○        | Power Pole      |
| □        | Phone Pits      |
| W        | Water Conn.     |
| TP 10.00 | Top Pillar/Post |
| TW 10.00 | Top Wall        |
| TR 10.00 | Top Retaining   |
| TF 10.00 | Top Fence       |



**NOTE:**  
Approx. Sewer Clearance Line  
(This line is NOT an easement)  
Setbacks **MUST** be confirmed  
by Water Corp. before any  
design work is undertaken.  
This line is NOT definitive.

**NOTE:**  
Approx. Sewer Clearance Line  
(This line is NOT an easement)  
Setbacks **MUST** be confirmed  
by Water Corp. before any  
design work is undertaken.  
This line is NOT definitive.

**NOTE/BEWARE: ADVISE TRADES**  
O/Head power lines

**LOT MISCLOSE**  
0.009m

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

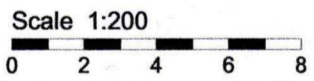
**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

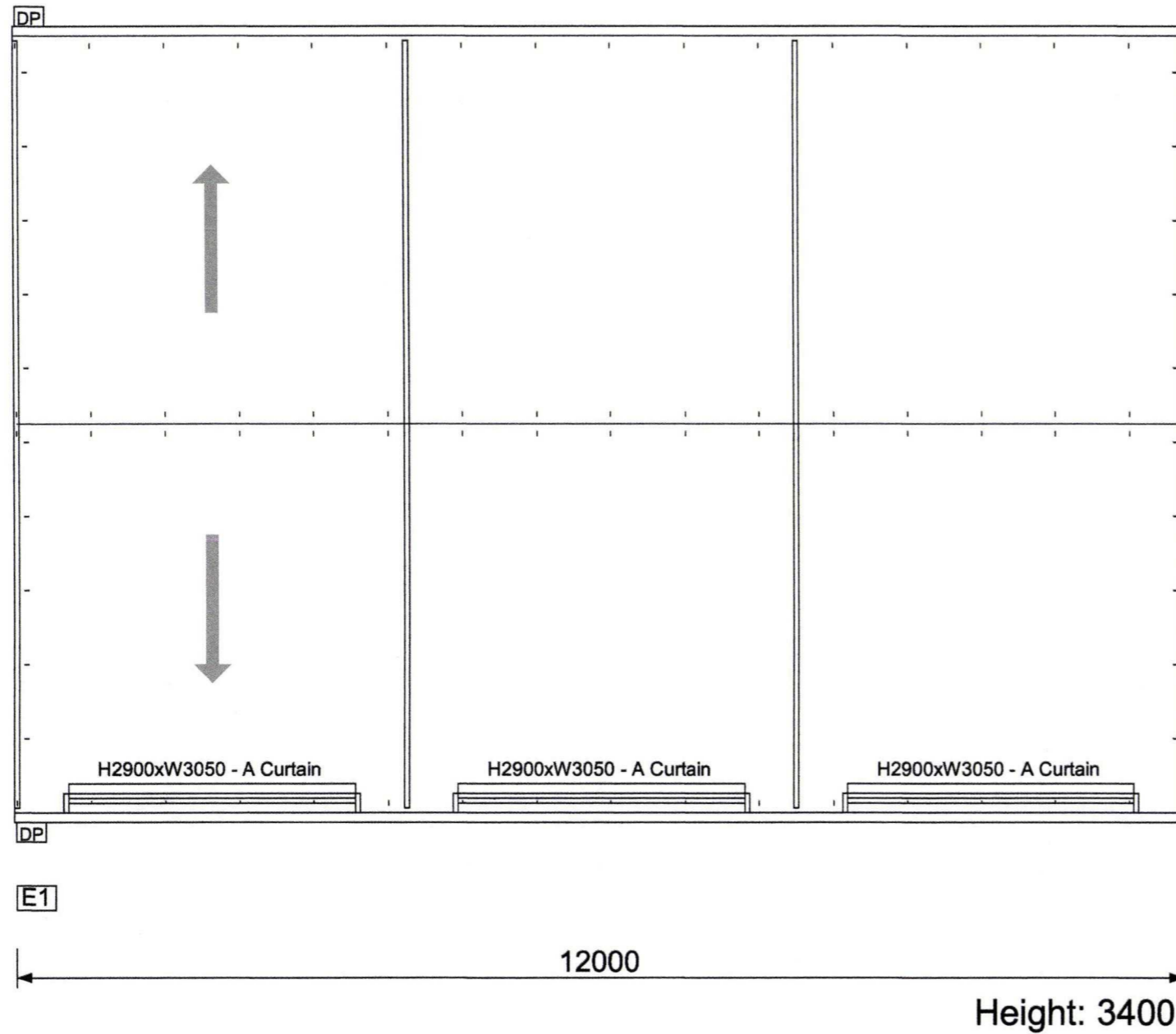
**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Ref Nail At Base Of Kerb Approx.  
A.H.D. level 11.80m (Established  
from S.M.H. number T8342 using  
data supplied by the Water Corporation.)



|                        |   |                                     |  |                                     |                                |                                       |
|------------------------|---|-------------------------------------|--|-------------------------------------|--------------------------------|---------------------------------------|
| <b>COTTAGE SURVEYS</b> | 87-89 Guthrie Street<br>Osborne Park, WA 6017                         | <b>JOB #</b> 511087                 | <b>GPS</b> Lat: -31.789701 Long: 115.743151                    | <b>ROADS</b> Bitumen                | <b>ELEC.</b> U/Ground / O/Head |                                       |
|                        | PO Box 1611<br>Osborne Park<br>Business Centre WA 6917                | <b>CLIENT</b> JAMES                 |  | <b>KERBS</b> Mountable / Nil        | <b>COMMS.</b> Yes              |                                       |
|                        | P: (08) 9446 7361<br>E: perth@cottage.com.au<br>W: www.cottage.com.au | <b>ADDRESS</b> #16 Aristride Avenue | <b>LOT</b> Lot 965 (Plan 11585)                                | <b>FOOTPATH</b> Nil                 | <b>WATER</b> Yes               | <b>GAS</b> Check Alinta               |
|                        |   | <b>SUBURB</b> Kallaroo              | <b>AREA</b> 852m <sup>2</sup> <b>VOL.</b> 1442 <b>FOL.</b> 349 | <b>SOIL</b> Sand                    | <b>SEWER</b> Yes               | <b>COASTAL</b> Yes                    |
|                        |   | <b>LGA</b> CITY OF JOONDALUP        | <b>DATE</b> 12 Oct 21 <b>SSA No</b>                            | <b>DRAINAGE</b> Good                |                                |                                       |
|                        |   | <b>DRAWN</b> J. Jee                 |  | <b>VEGETATION</b> Light Grass Cover |                                |                                       |
|                        |   |                                     |  |                                     |                                | (Approximate Only Confirm With Shire) |



**OPTION ITEMS LIST:**

- 3 x Roller Doors
- 3 x H2900xW3050 - A Curtain
- (F1) 2 x roll x Ausmesh Safety Wire - 1800 x 50m roll
- (F2) 1 x roll x Duct Tape - Aluminium Foil Tape (Vapastop 883) 72mm x 50m
- (F3) 6 x roll x PERMASTOP LD R1.3 55mm 1200x15000 (18sqm) - exclude QLD
- (F4) 3 x each x Vent - Spinaway 300 dia
- (E1) 1 x Eng - Certificate (WA) - Enduro

Company: Action Sheds Australia PTY LTD  
 Address: 55 Erceg Road  
 Phone: 6559 1970  
 Email: karli@actionsheds.com.au

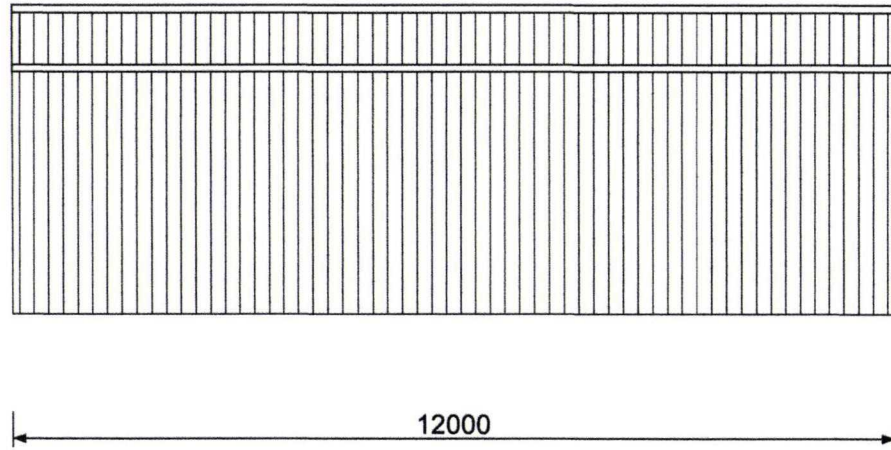


CLIENT NAME: **Kaine James**  
 SITE ADDRESS:  
 16 Aristride Avenue  
 Kallaroo, WA, PC: 6025

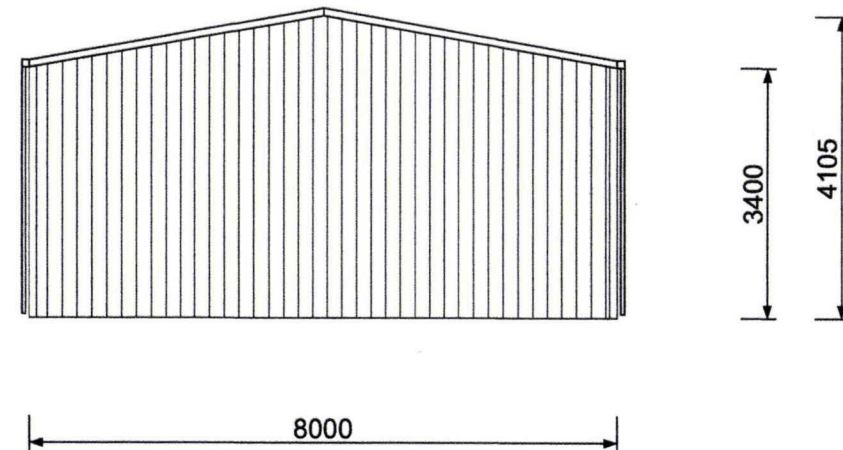
CLIENT SIGNATURE:

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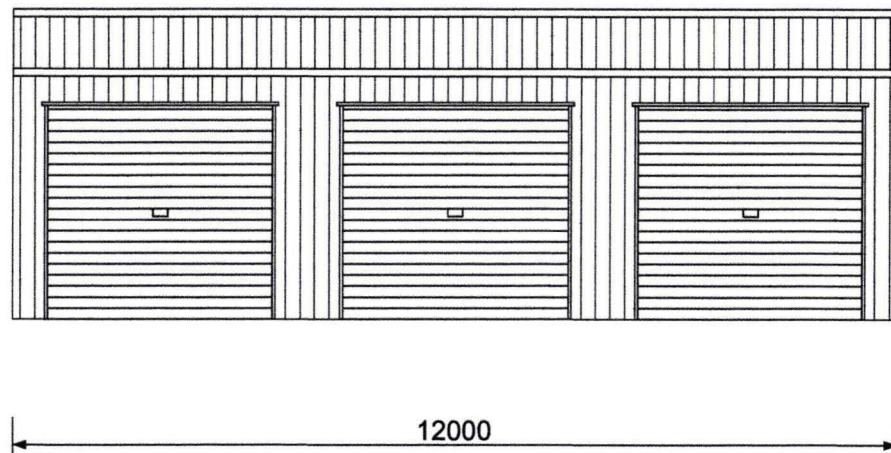
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| DATE: <b>01/02/2024</b>     | PAGES: <b>1 of 2</b> |               |



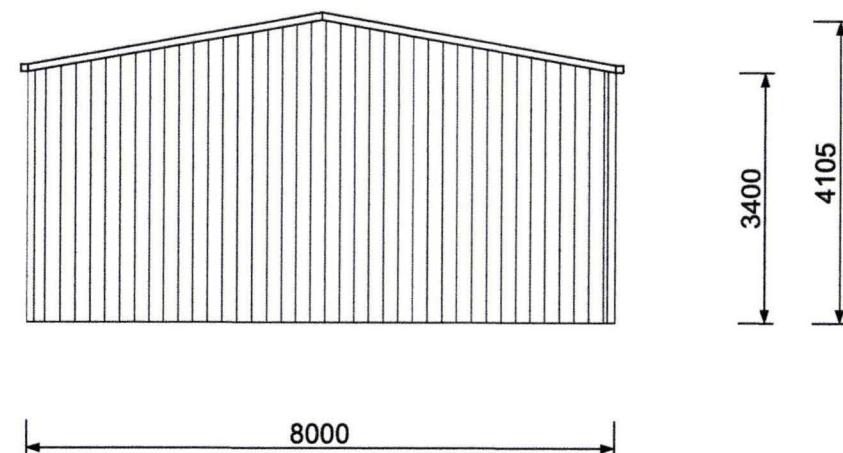
Back



Left



Front



Right

Company: Action Sheds Australia PTY LTD  
 Address: 55 Erceg Road  
 Phone: 6559 1970  
 Email: karli@actionsheds.com.au



CLIENT NAME: **Kaine James**  
 SITE ADDRESS:  
 16 Aristride Avenue  
 Kallaroo, WA, PC: 6025

CLIENT SIGNATURE:

|                               |                      |          |
|-------------------------------|----------------------|----------|
| TITLE: <b>Elevations View</b> |                      |          |
| QUOTE No: <b>ASHKR52531</b>   | SCALE: <b>NTS</b>    | REV.     |
| DATE: <b>01/02/2024</b>       | PAGES: <b>2 of 2</b> | <b>A</b> |