



**PRO WEST**  
SURVEYING

Licensed and Engineering Surveying Consultants

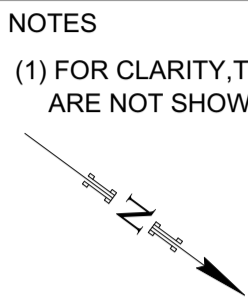
T (08) 9242 8247 E: admin@prowestsurveying.com.au  
F (08) 9242 8296 Web: www.prowestsurveying.com.au  
Po Box 1463 Osborne Park DC 6916 DWG# 6779003

Feature & Contour Survey of: Lot 331, No. 2 Volunteer Place, Ocean Reef

REVISION: A  
SHEET: 1 OF 1

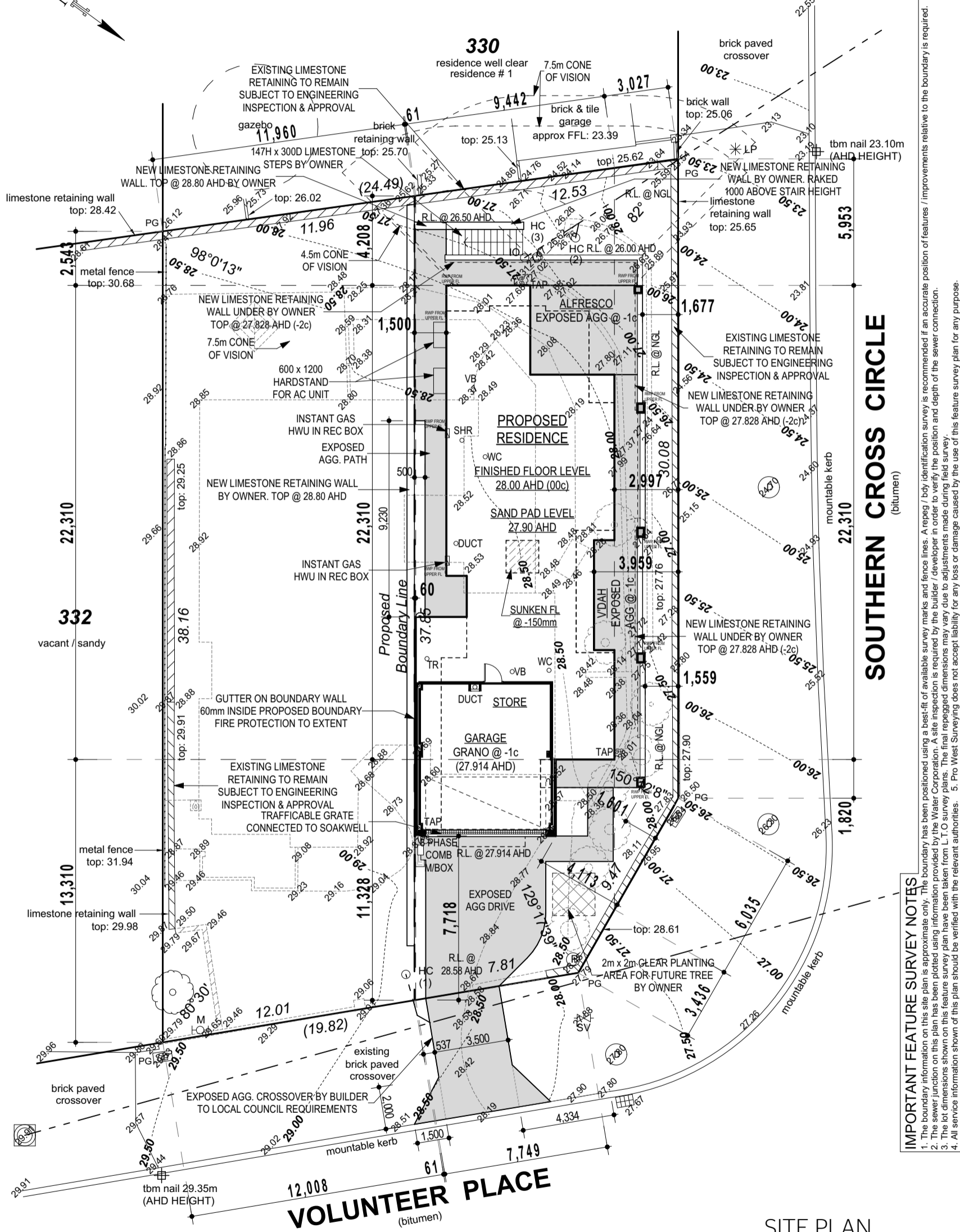
CLIENT:	PLAN: P 15655	LOT AREA: 900m <sup>2</sup>	SURVEY DATE: 14/12/23
BUILDER: STANNARD HOMES	C/T Vol: 1742	Fol: 646	MAP REFERENCE:
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: 0.43KM	
AUTHORITY: CITY OF JOONDALUP	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

FEATURE SYMBOL LEGEND	
<b>POWER</b>	
CABLE DOME (P)	POWER POLE (PP)
CABLE BOX (CB)	CONSUMER POLE (CP)
POWER MARKER (◇)	EXPOSED CABLES (EC)
LIGHT POLE (LP)	STAYWIRE ANCHOR (SWA)
<b>WATER</b>	
WATER METER / TAP (M)	FIRE HYDRANT (H)
TAP (T)	STOP VALVE (SV)
FLUSHING POINT (FP)	RETIC VALVE (RV)
BORE (B)	WATER MARKER (W)
<b>SEWERAGE</b>	
SEWER M/H (SQUARE LID) (S)	SEWER M/H (ROUND LID) (R)
INSPECTION SHAFT (IS)	INSPECTION OPENING (IO)
HOUSE CONNECTION (HC)	
<b>TELSTRA</b>	
TELSTRA PIT (P)	TELSTRA MANHOLE (M)
TELSTRA MARKER (M)	
<b>DRAINAGE</b>	
DRAIN M/H (SQUARE LID) (D)	DRAIN M/H (ROUND LID) (R)
SIDE ENTRY PIT (SEP)	DRAINAGE GRATE (G)
COMBINED ENTRY PIT (CEP)	DRAINAGE MARKER (DM)
<b>GAS</b>	
GAS METER (GM)	GAS VALVE (GV)
GAS MARKER (G)	
<b>SURVEY MARKS</b>	
PEG FOUND (PF)	PEG GONE (PG)
DRILL HOLE (DH)	BENCH MARK (BM)
PEN MARK (PM)	NAIL & PLATE (NPL)
	NAIL (N)
<b>MISCELLANEOUS INFO.</b>	
STREET SIGN (S)	SPOT HEIGHT (10.16)
UNKNOWN SERVICE MARKER (U)	BOLLARD (B)
OVERHEAD POWER LINE (OPL)	SEWER LINE (SL)
FENCE LINE (FL)	WINDOW / OPENING (W)
<b>SERVICE DETAILS</b>	
WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: L SEWER: L	
<b>SERVICE NOTES</b>	
L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED	



NOTES  
(1) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE

SEWER JUNCTION DETAILS			
HOUSE CONNECTION (HC) IL:	26.16 (1)	22.09 (2)	22.30 (3)
UP DISTANCE:	1.5 (1)	1.7 (2)	2.0 (3)
DEPTH TO CONNECTION:	1.14 (1)	2.97 (2)	2.77 (3)



**IMPORTANT FEATURE SURVEY NOTES**

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / body identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been located using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

SITE PLAN  
1:200

**SH STANNARD HOMES**  
VISION SPECIFICATION

42 Hasler Road, Osborne Park Western Australia 6017  
Telephone (08) 9446 5500  
email: enquires@stannardhomes.com.au  
www.stannardhomes.com.au

PROPOSED RESIDENCE FOR  
MR. D. & MRS. H SHERRIFFS  
LOT 331 (HSE #2 - PROPOSED LOT 402)  
VOLUNTEER PL. (CNR. SOUTHERN CROSS CIR), OCEAN REEF

INDIVIDUAL TWO STOREY		COPYRIGHT ©	
DRAWN AES	AMENDMENTS AMD-001-00-00-000	VARIATION V0-000-00-00-000	SHEET 11 OF 11
DATE 06/02/2024			JOB No 5390

ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

AREA	
GROUND FL	139.92
GARAGE	46.49
VERANDAH	35.78
ALFRESCO	22.18
TOTAL	244.37 m <sup>2</sup>
PERIMETER	67.16 m
UPPER FL (INCLUDING STAIRS + VOID)	167.81
BALCONY	61.70
TOTAL	229.51 m <sup>2</sup>
PERIMETER	72.72 m
GRAND TOTAL	473.88 m <sup>2</sup>



GROUND FLOOR PLAN  
1:100



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Stannard Group Pty Ltd  
ABN 27 008 828 082 BC 6583

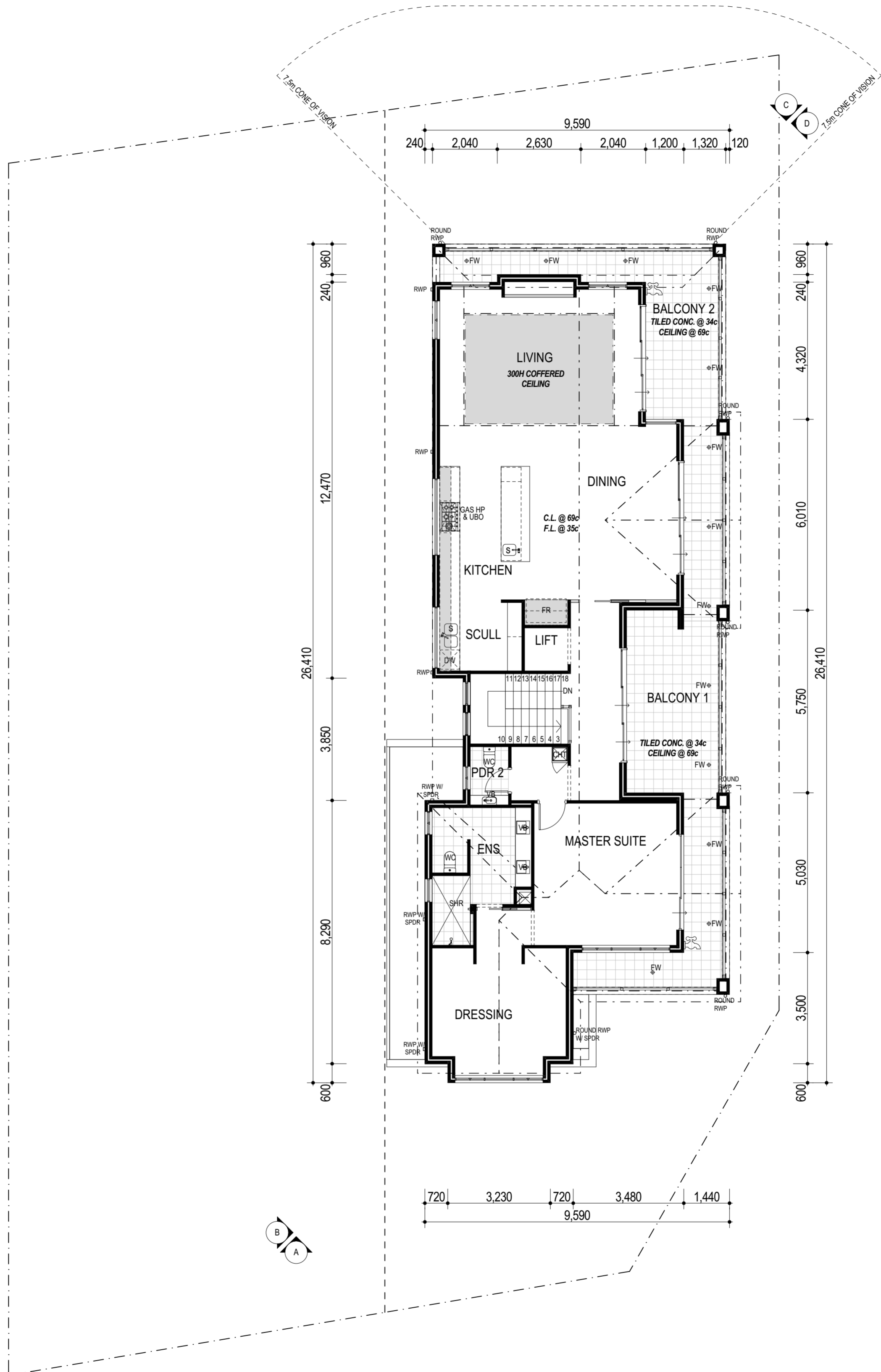
DRAWN  
AES  
DATE  
06/02/2024

AMENDMENTS  
AMD-001-00-00-000

VARIATION  
V0-000-00-00-000

SHEET  
01 OF 11

JOB No  
5390



UPPER FLOOR PLAN  
1:100



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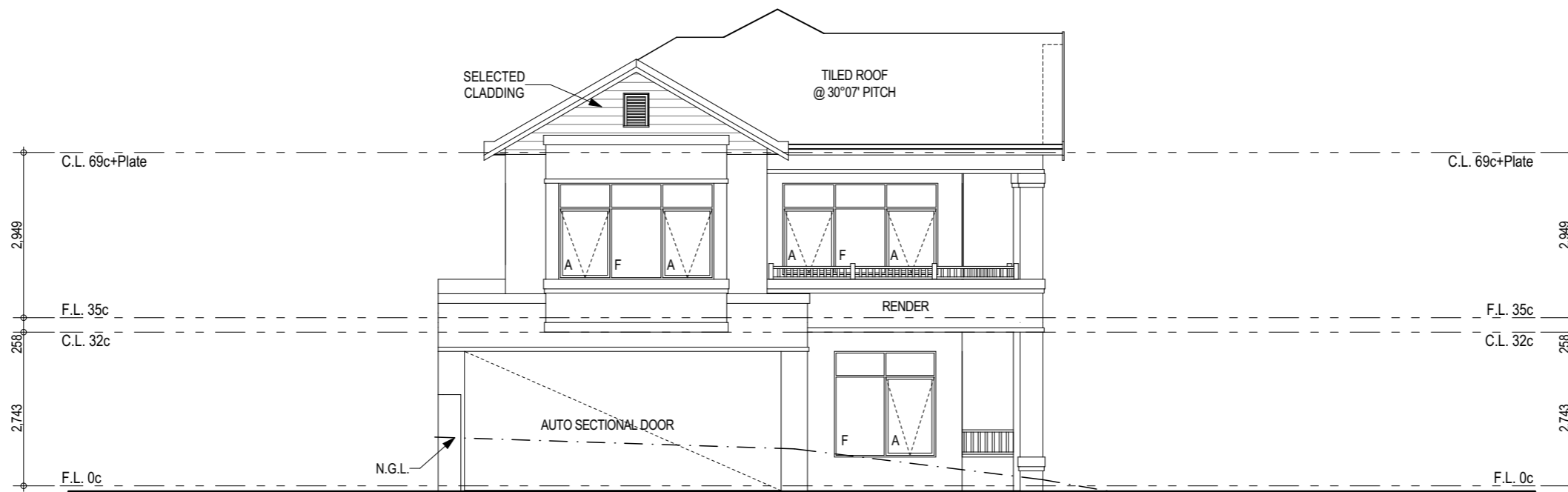
Stannard Group Pty Ltd  
ABN 27 008 828 082 BC 6583

INDIVIDUAL TWO STOREY

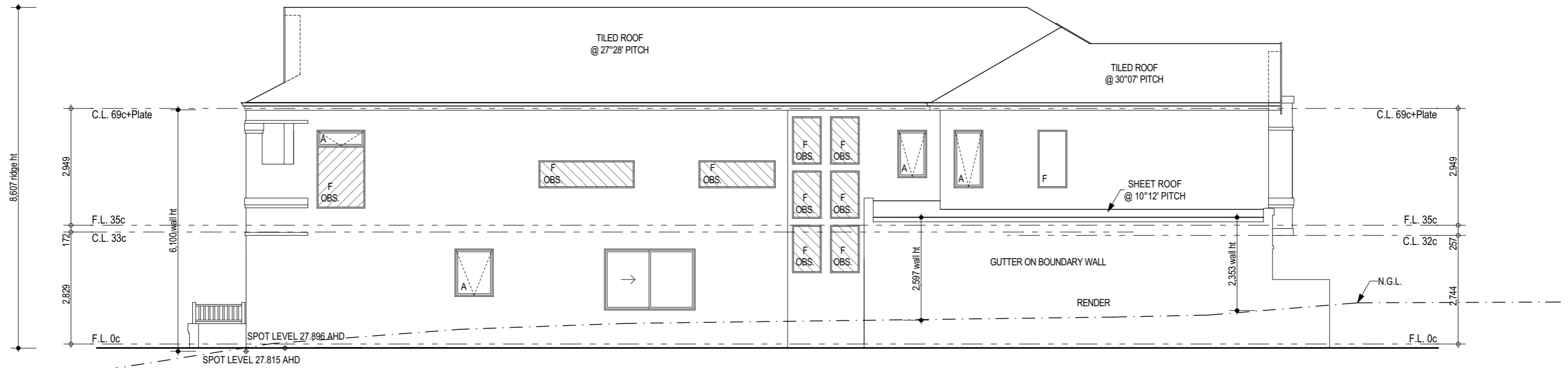
DRAWN	AMENDMENTS	VARIATION	SHEET
AES	AMD-001-00-00-000	VS-000-00-00-000	02 OF 11
DATE			JOB No
06/02/2024			5390

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ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS



ELEVATION A



ELEVATION B

ELEVATIONS 1 OF 2  
1:100

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INDIVIDUAL TWO STOREY			
DRAWN AES	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 03 OF 11
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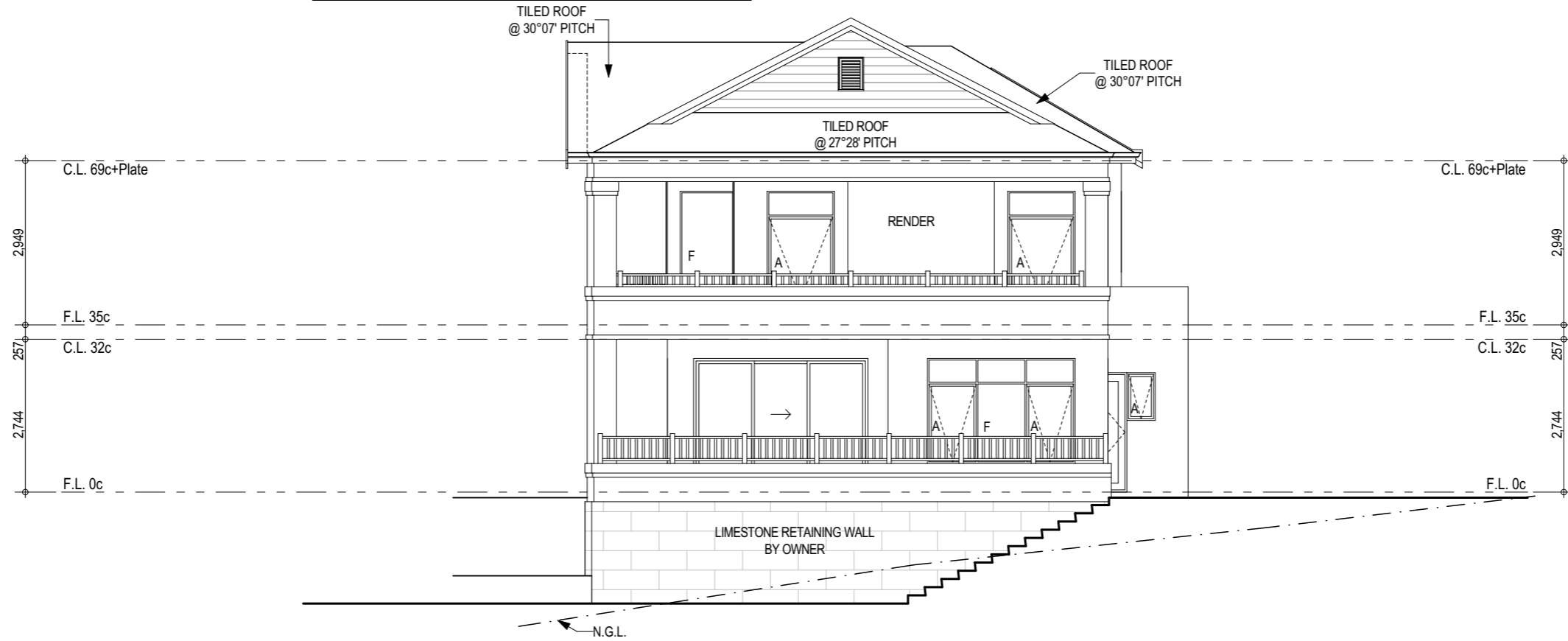
WIND CLASSIFICATION N?  
 TERRAIN CATEGORY TC?  
 SHIELDING ?S  
 TOPOGRAPHY T?

ALTERATIONS TO PLANS MAY CAUSE  
 DELAYS & ADDITIONAL COSTS

**NOTE: PROVIDE INSULATION TO CAVITY WALLS  
 THROUGHOUT HOME EXCLUDING GARAGE**

NOTE: ALL BEDROOM WINDOWS  
 TO BE PROTECTED IN ACCORDANCE  
 WITH NCC BCA 3.9.2.6 & ALL OTHER  
 WINDOWS WITH NCC BCA 3.9.2.7

ROOF TIMBERS TO AS 1684.2  
 & ENGINEER'S DETAILS



ELEVATION C



ELEVATION D

ELEVATIONS 2 OF 2  
 1:100



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REVISION: A  
SHEET: 1 OF 1

CLIENT:	PLAN: P 15655	LOT AREA: 900m <sup>2</sup>	SURVEY DATE: 14/12/23
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**NOTES**  
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**LANDSCAPING LEGEND**  
NOTE: LANDSCAPING BY OWNER AFTER HANDOVER

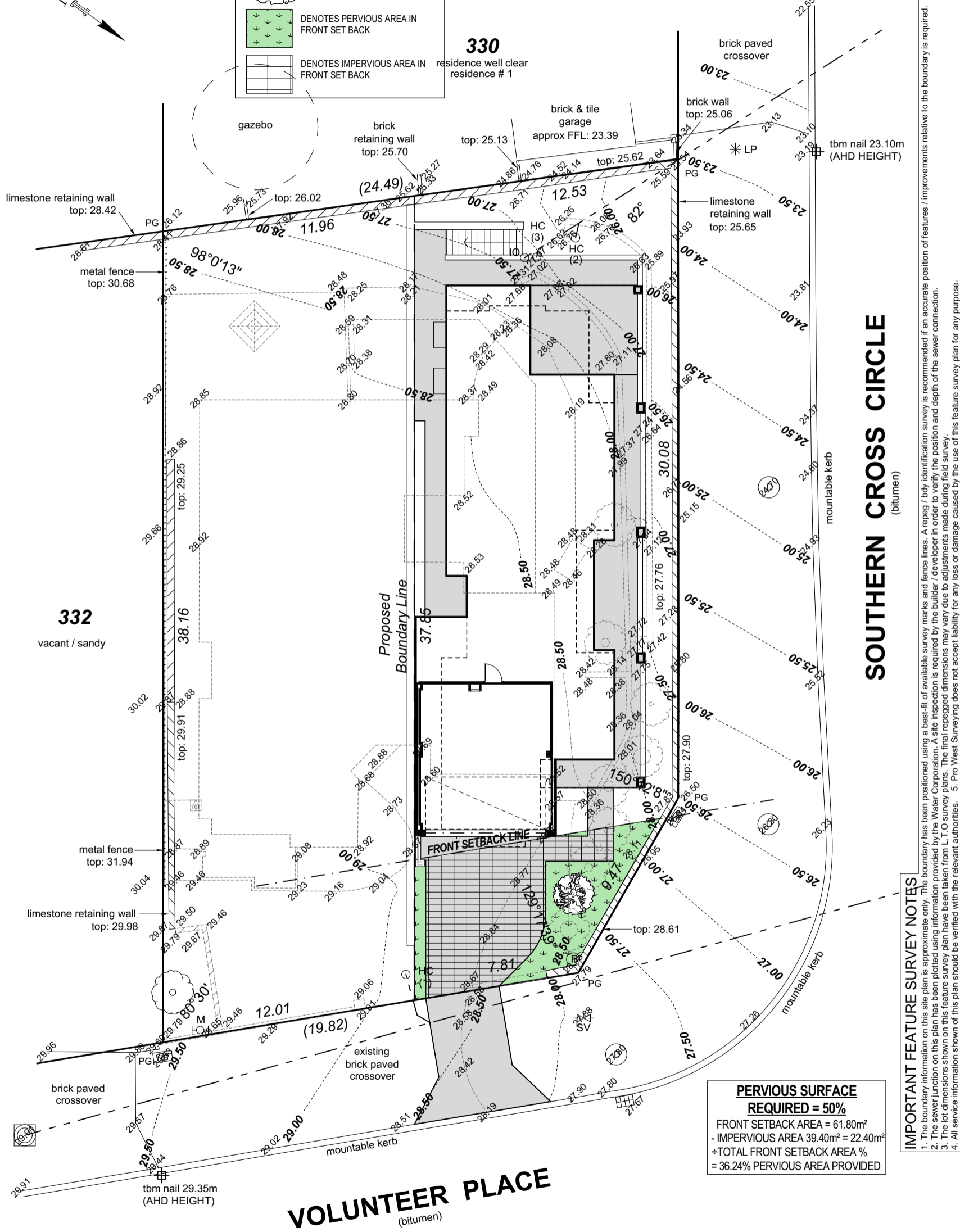
NEW TREE WITH 2m x 2m CLEAR PLANTING ZONE TO COUNCIL REQUIREMENTS

DENOTES PERVIOUS AREA IN FRONT SET BACK

DENOTES IMPERVIOUS AREA IN FRONT SET BACK

**SEWER JUNCTION DETAILS**

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**PERVIOUS SURFACE REQUIRED = 50%**  
FRONT SETBACK AREA = 61.80m<sup>2</sup>  
- IMPERVIOUS AREA 39.40m<sup>2</sup> = 22.40m<sup>2</sup>  
+TOTAL FRONT SETBACK AREA % = 36.24% PERVIOUS AREA PROVIDED

**VOLUNTEER PLACE**  
(bitumen)

**LANDSCAPING PLAN**  
1:200

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DATE 06/02/2024			JOB No 5390