

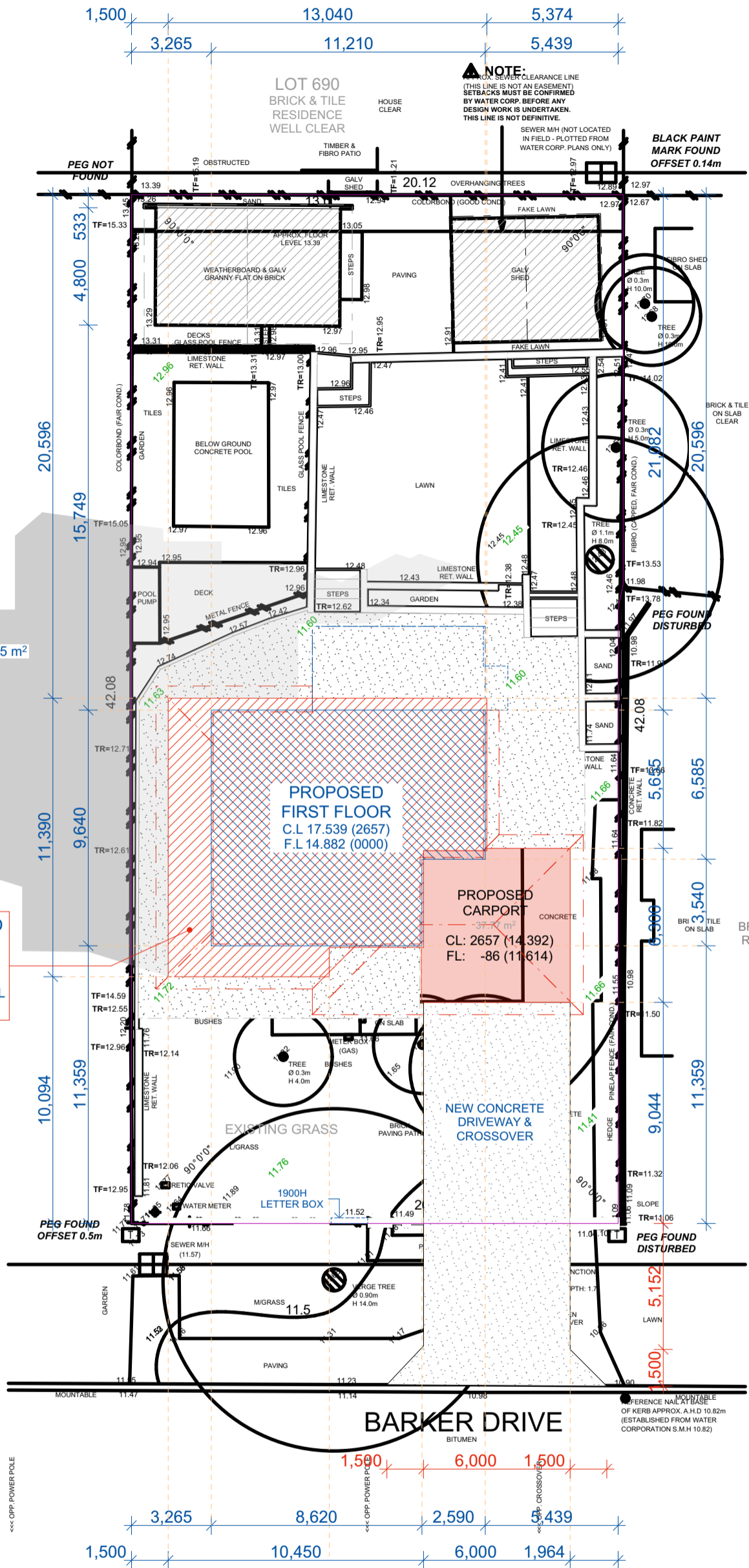
LEGEND

- Proposed G.F:
- Proposed F.F:

LOT 709
 LOT AREA: 840.708m²
 R-CODE: R-20

Overshadowing

R- Code: R20
 (25% O/Shadowing Allowed)
 Area of O/Shadow: 127.85 m²
 Area of Neighbour Site:
 846.65 m² (37 Barker Dr.)
 Percentage of O/Shadow: 15.1 %



OVERSHADOWING AREA: 127.85 m²

LOT 708
 37 Barker Dr.
 BRICK & IRON
 RESIDENCE

PROPOSED GROUND FLOOR
 C.L 14.392 (2657)
 F.L 11.700 (0000)
 NEW HOUSE FLOOR LEVEL
 SAME AS EXISTING

PROPOSED FIRST FLOOR
 C.L 17.539 (2657)
 F.L 14.882 (0000)

PROPOSED CARPORT
 CL: 2657 (14 392)
 FL: -86 (11 614)

NEW CONCRETE DRIVEWAY & CROSSOVER

BARKER DRIVE
 BITUMEN

NOTE:
 APPROX. SEWER CLEARANCE LINE
 (THIS LINE IS NOT AN EASEMENT)
 SETBACKS MUST BE CONFIRMED
 BY WATER CORP. BEFORE ANY
 DESIGN WORK IS UNDERTAKEN.
 THIS LINE IS NOT DEFINITIVE.

BLACK PAINT MARK FOUND
 OFFSET 0.14m

LOT 711
 BRICK & TILE
 RESIDENCE
 WELL CLEAR

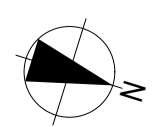
LOT 3
 BRICK & TILE
 RESIDENCE



19 Canham Way, Greenwood, WA, 6024
 T: 9343 8850 E: info@nuchange.com.au

Client: **Jennifer & Wayne Hourquebie**
 Date: **23/02/24**
 Site: **39 Barker Drive, Duncraig**
 Drawn: **A.J**

Site Plan
 Scale 1:200
 © Copyright



Sheet:
 1 of 17

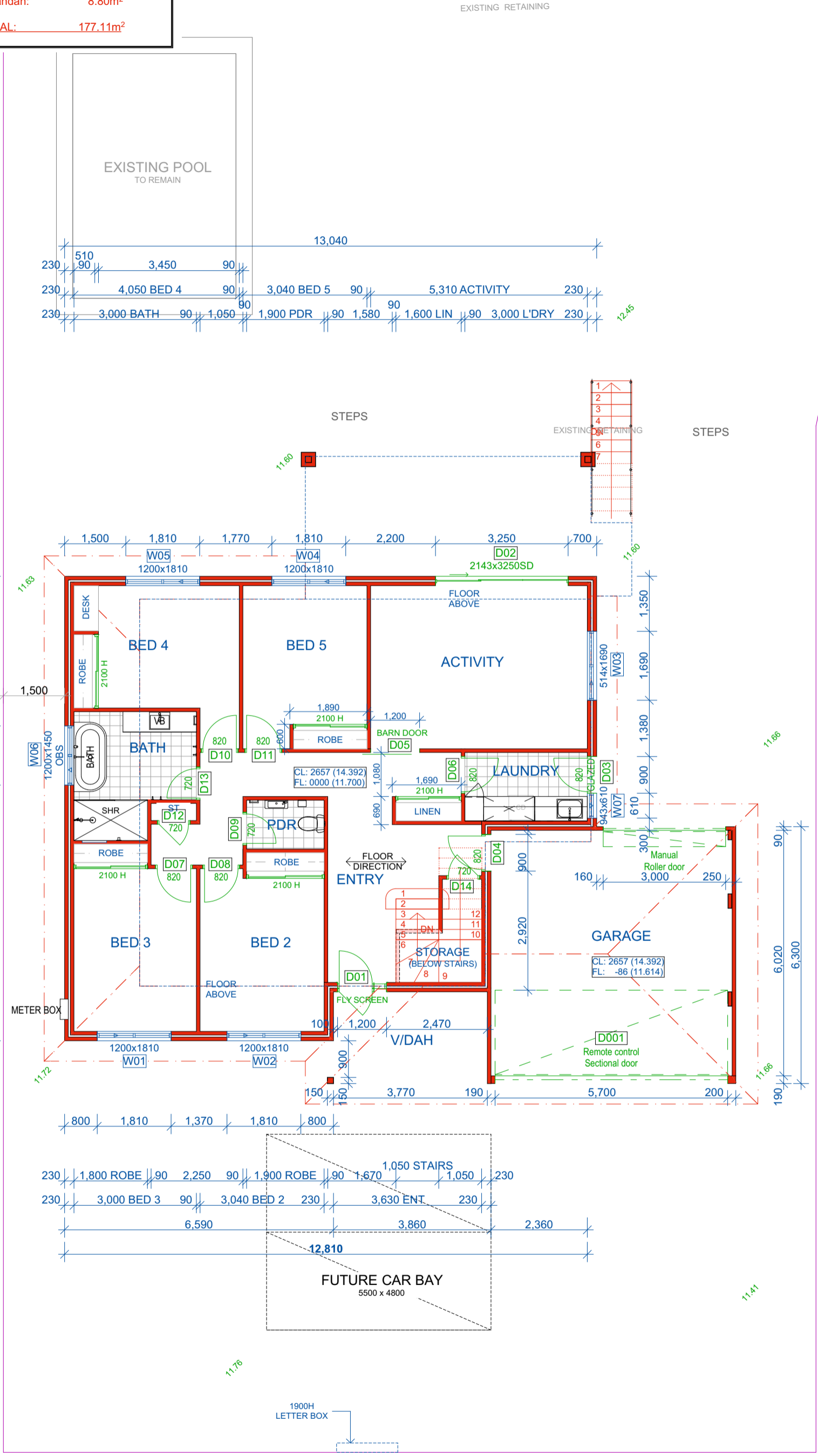
NOTES:
 - These Plans are Subject to Shire Approval
 - Proposed Measurements May Vary Due to Site Inconsistencies

LEGEND

- Existing Walls:
- Existing Windows:
- Existing Roof Lines:
- New Roof Line:
- New Ceiling:
- New Brickwork:
- Non Full Height Walls:
- New studwork:
- New Windows:
- New Gas Point:
- New Tap:
- New Tiles:
- Floor Waste:
- Rain Water Pipe:
- Meter Box:
- Set Out Point:
- New Slab Area:

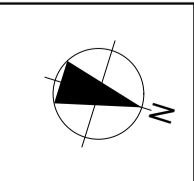
AREAS

Ground Floor: 130.53m²
 Carport: 37.78m²
 Verandah: 8.80m²
TOTAL: 177.11m²



Client: **Jennifer & Wayne Hourquebie**
 Date: **23/02/24**
 Site: **39 Barker Drive, Duncraig**
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Ground Floor Plan
 Scale 1:100
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Sheet:
2 of 17

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LEGEND

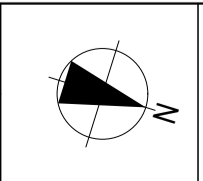
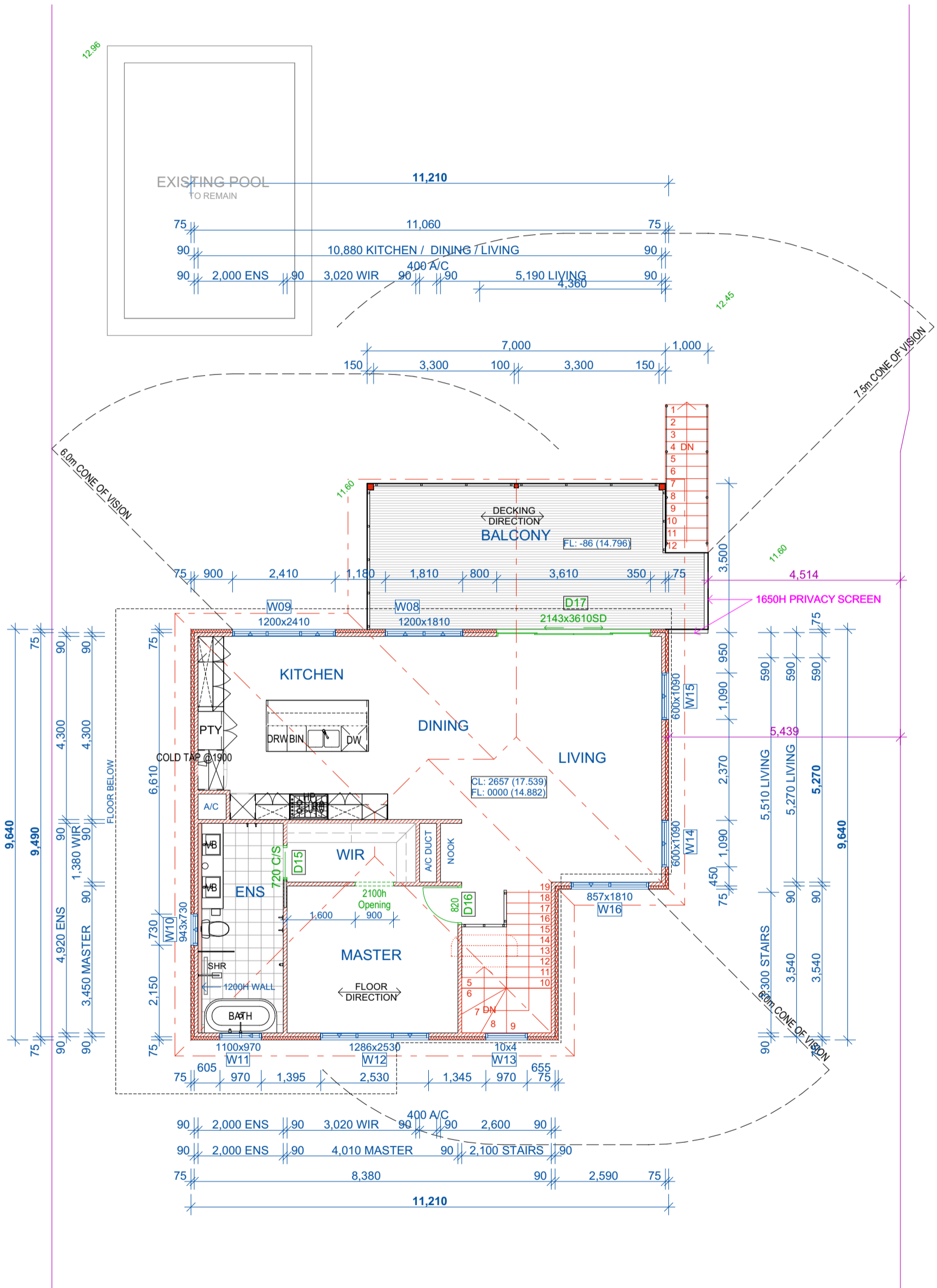
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AREAS

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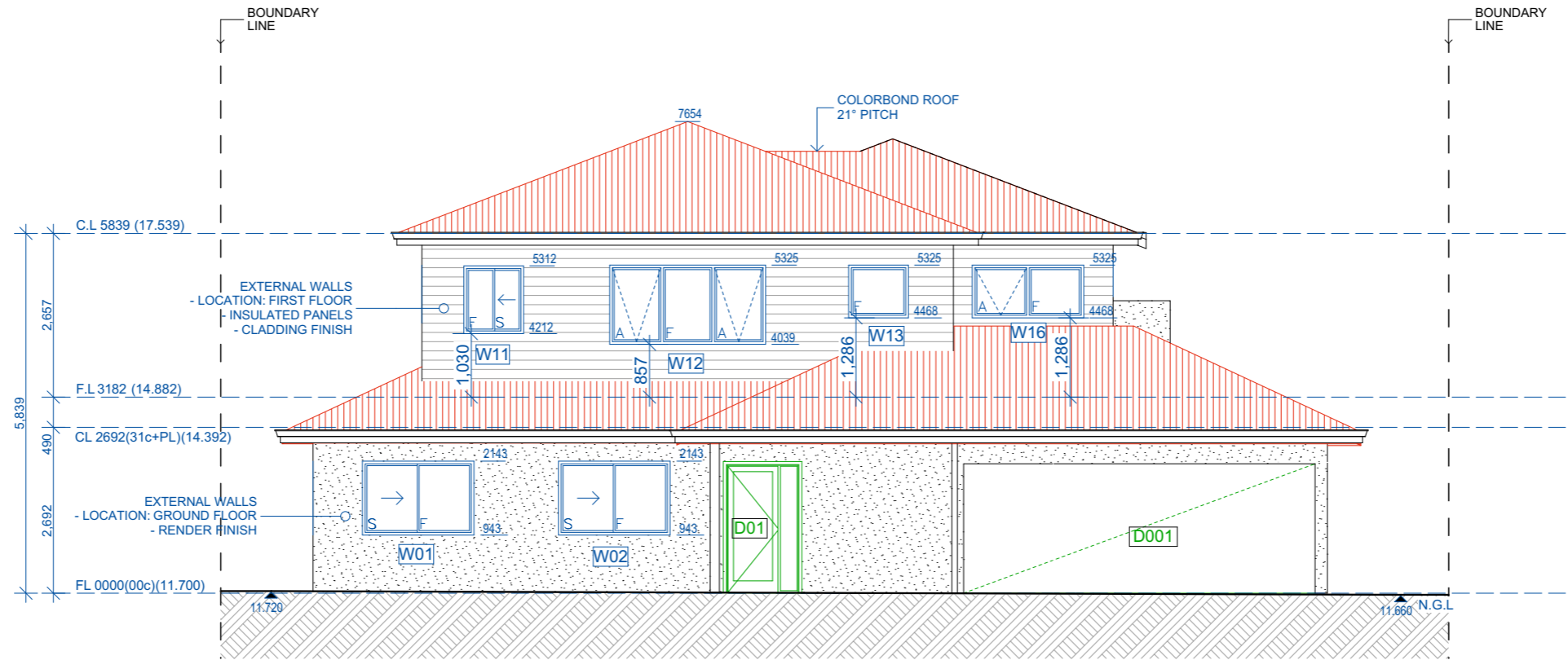
AREAS

First Floor: 98.90m²
 Balcony: 25.78m²
TOTAL: 301.79m²

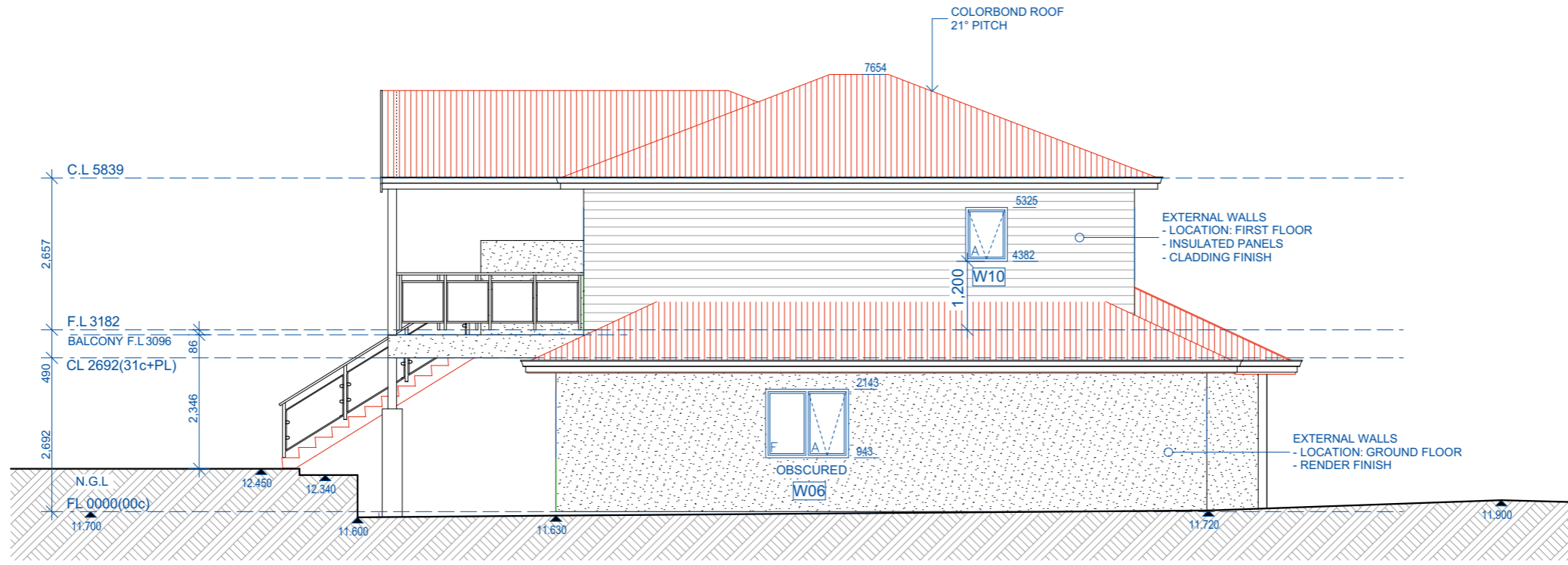


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NOTE:
TIMBER ROOF FRAMING
 In accordance with relevant Australian Standards



ELEVATION 1



ELEVATION 2

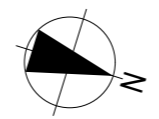


Client: **Jennifer & Wayne Hourquebie**
 Date: **23/02/24**
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Elevations 1-2

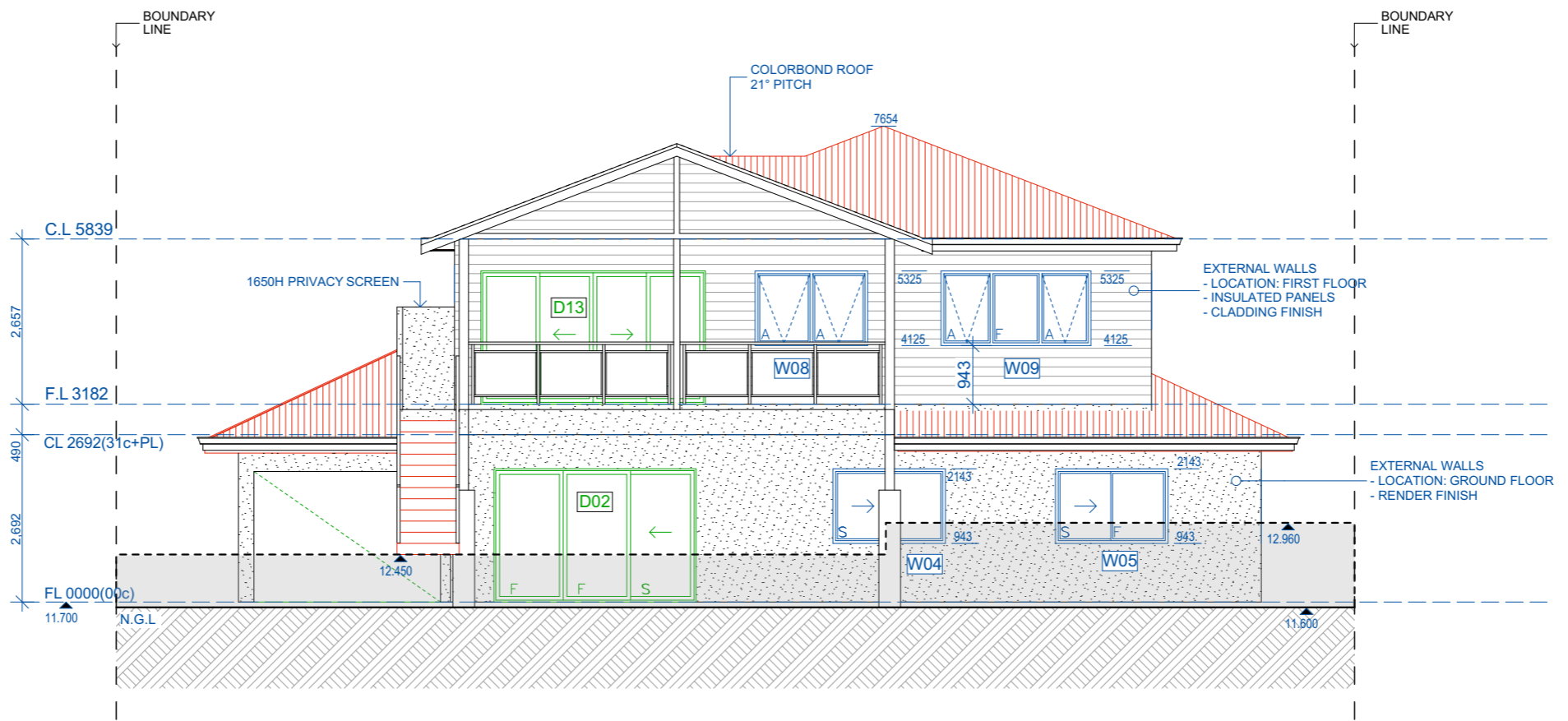
Scale 1:100

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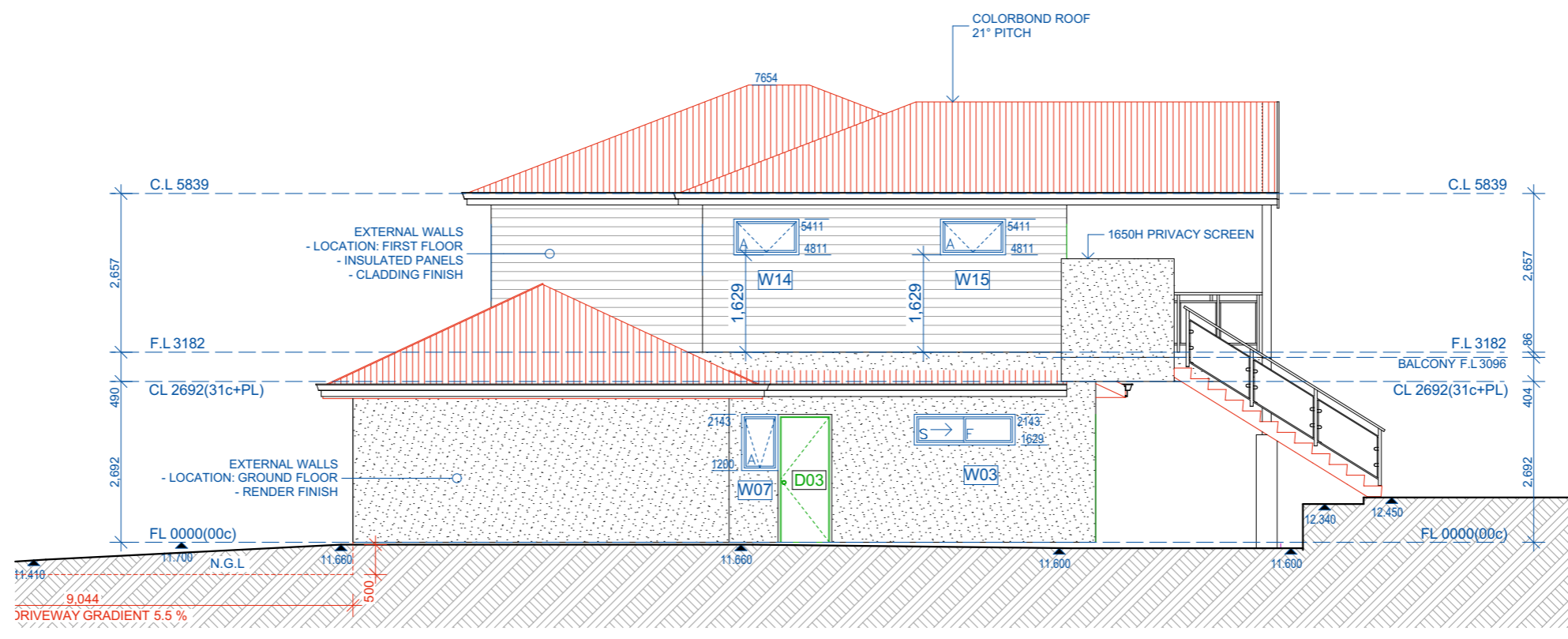


Sheet:
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NOTES:
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ELEVATION 3

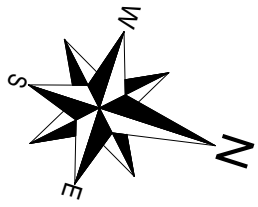


ELEVATION 4



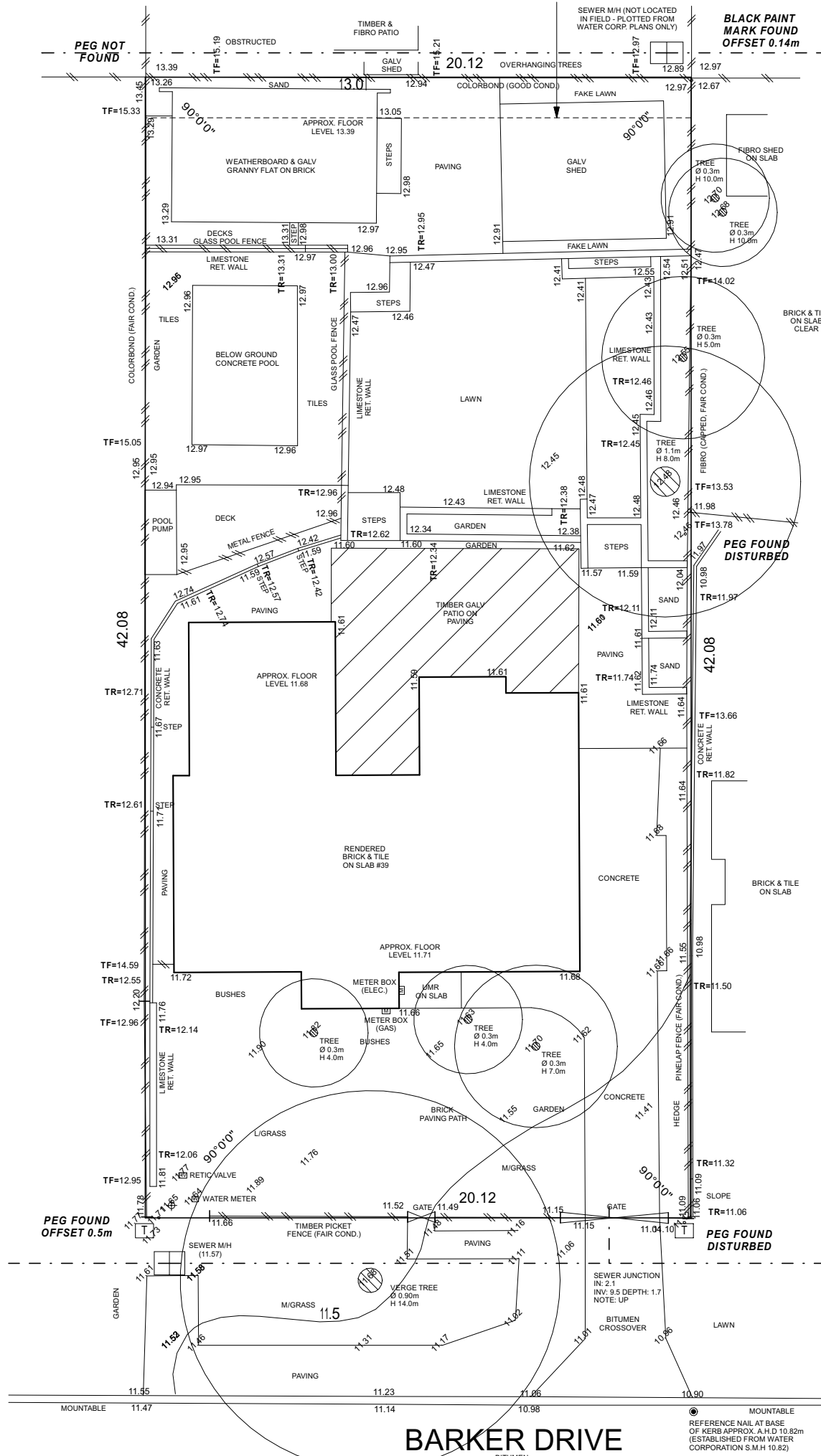
Client: Jennifer & Wayne Hourquebie	Elevations 3-4	Sheet: 5 of 17
Date: 23/02/24	Scale 1:100	
Site: 39 Barker Drive, Duncraig	© Copyright	
Drawn: A.J		

19 Canham Way, Greenwood, WA, 6024
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LEGEND	
	POWER DOME
	POWER POLE
	WATER CONN.
	TOP PILLAR/POST
	TF=10.00 TOP WALL
	TR=10.00 TOP RETAINING
	TF=10.00 TOP FENCE

NOTE:
APPROX. SEWER CLEARANCE LINE
(THIS LINE IS NOT AN EASEMENT)
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BY WATER CORP. BEFORE ANY
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LOT MISCLOSE
0.000 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

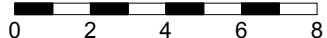
DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Scale 1:200



87-89 Guthrie Street
Osborne Park, WA 6017

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Osborne Park
Business Centre WA 6017

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E: perth@cottage.com.au
W: www.cottage.com.au

JOB #	559071	GPS	Lat: -31.828173 Long: 115.768660
ADDRESS	#39 Barker Drive	LOT	Lot 709 (Plan 9709)
SUBURB	Duneraig	LGA	CITY OF JOONDALUP
AREA	847m ²	VOL.	2144
DATE	06 Nov 23	FOL.	162
DRAWN	T. Gill	SSA No	

ROADS	Bitumen
KERBS	Mountable
FOOTPATH	Nil
SOIL	Sand
DRAINAGE	Good
VEGETATION	Light Grass Cover

ELEC.	U/Ground / O/Head
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	No

(Approximate Only Confirm With Shire)