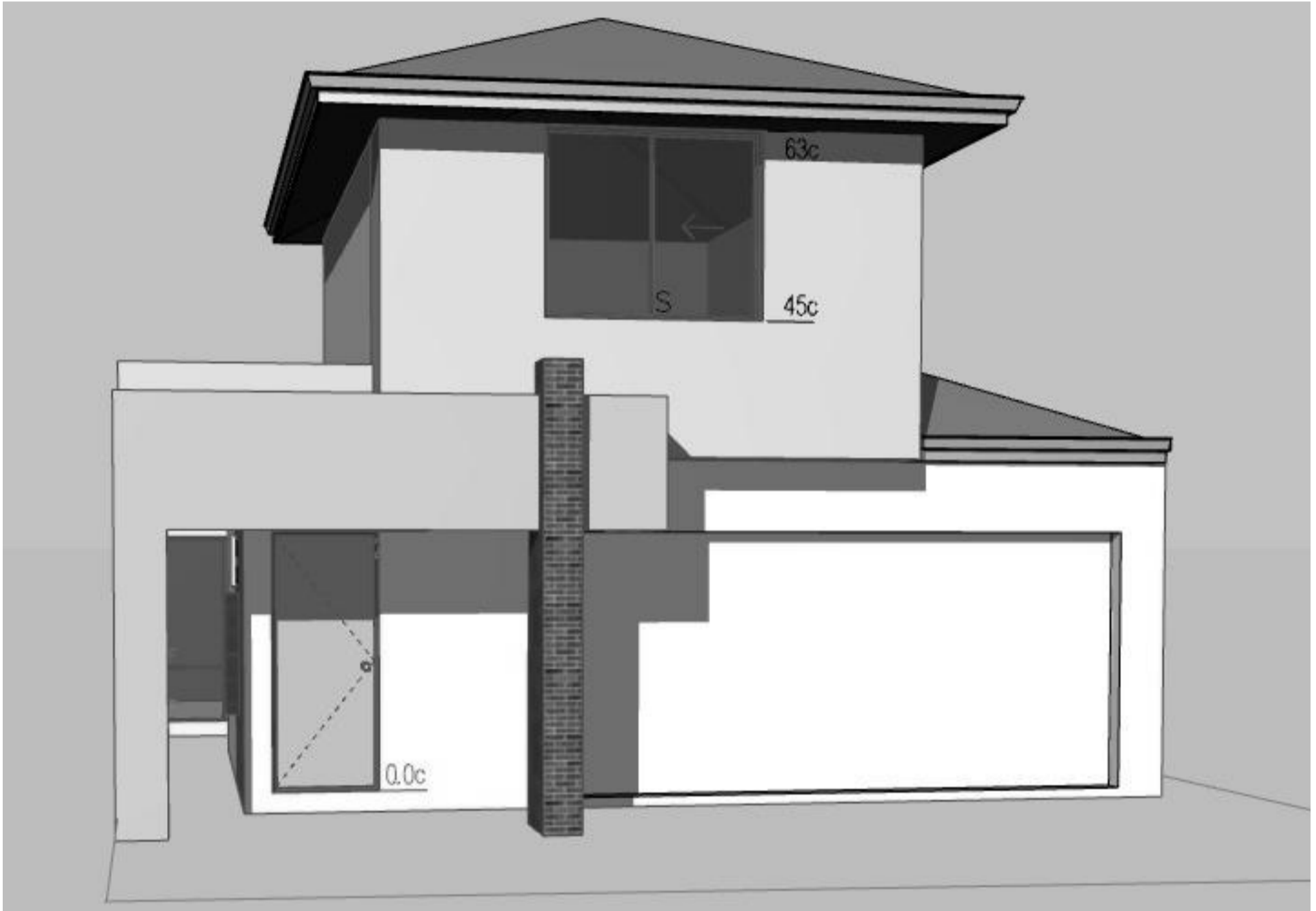
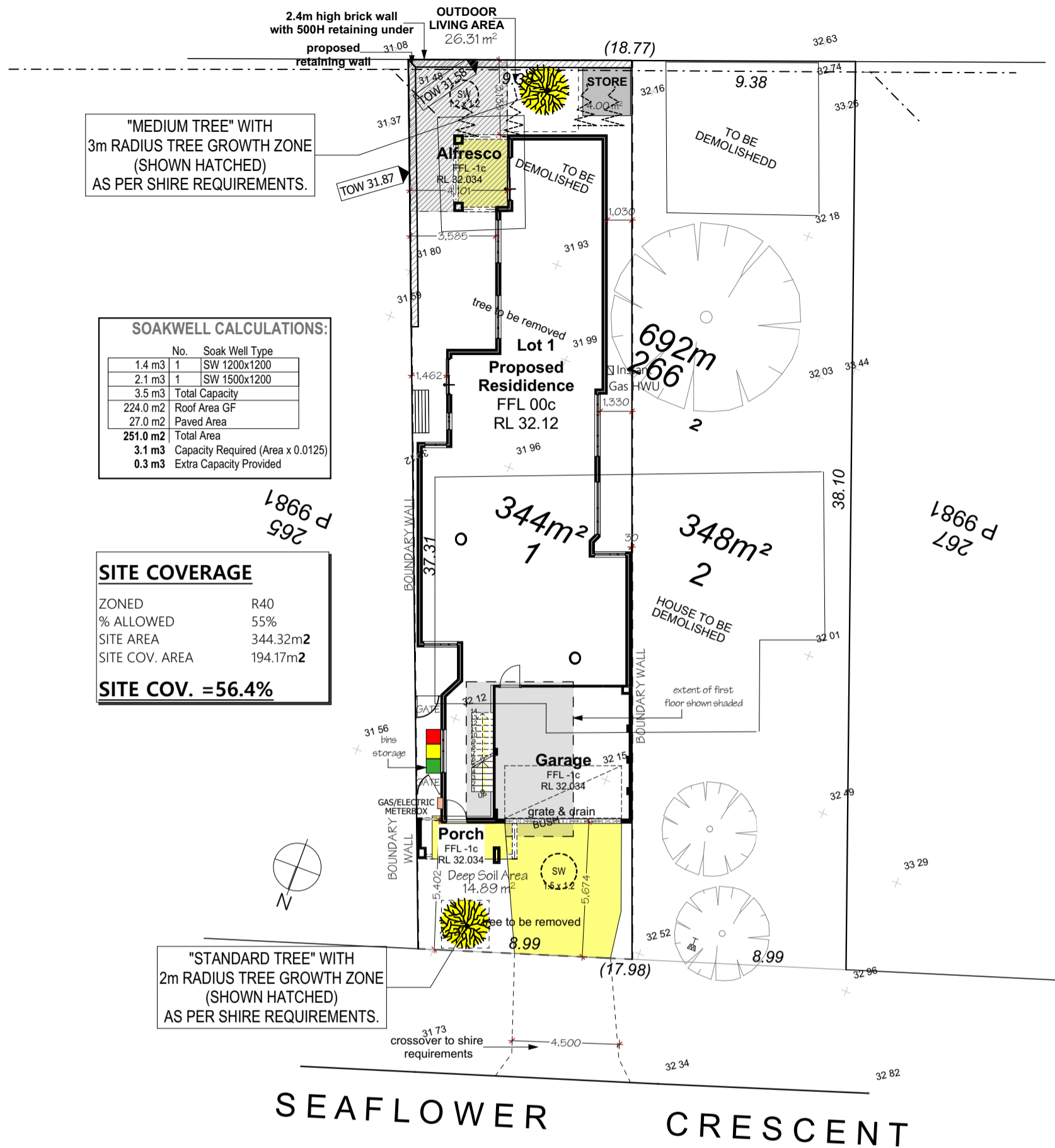


SSL 1- LOT266 (#41)  
SEAFLOWER CRES.  
CRAIGIE



# WHITFORDS AVENUE



**SOAKWELL CALCULATIONS:**

No.	Soak Well Type
1.4 m3	1 SW 1200x1200
2.1 m3	1 SW 1500x1200
3.5 m3	Total Capacity
224.0 m2	Roof Area GF
27.0 m2	Paved Area
251.0 m2	Total Area
3.1 m3	Capacity Required (Area x 0.0125)
0.3 m3	Extra Capacity Provided

**SITE COVERAGE**

ZONED	R40
% ALLOWED	55%
SITE AREA	344.32m <sup>2</sup>
SITE COV. AREA	194.17m <sup>2</sup>
<b>SITE COV. = 56.4%</b>	

Site Plan  
1:200

NOTE: THE BOUNDARIES SHOWN ON THIS PLAN WERE NOT RE-ESTABLISHED AS PART OF THIS SURVEY. PRIOR TO ANY STRUCTURE OR FEATURE MODIFICATION, THE BOUNDARIES SHOULD BE VERIFIED BY A BOUNDARY RE-ESTABLISHMENT SURVEY.

**LEGEND**

- SEWER MANHOLE
- + NAT SURFACE PT
- TREE
- ⊥ WATER METER

**LINE TYPES**

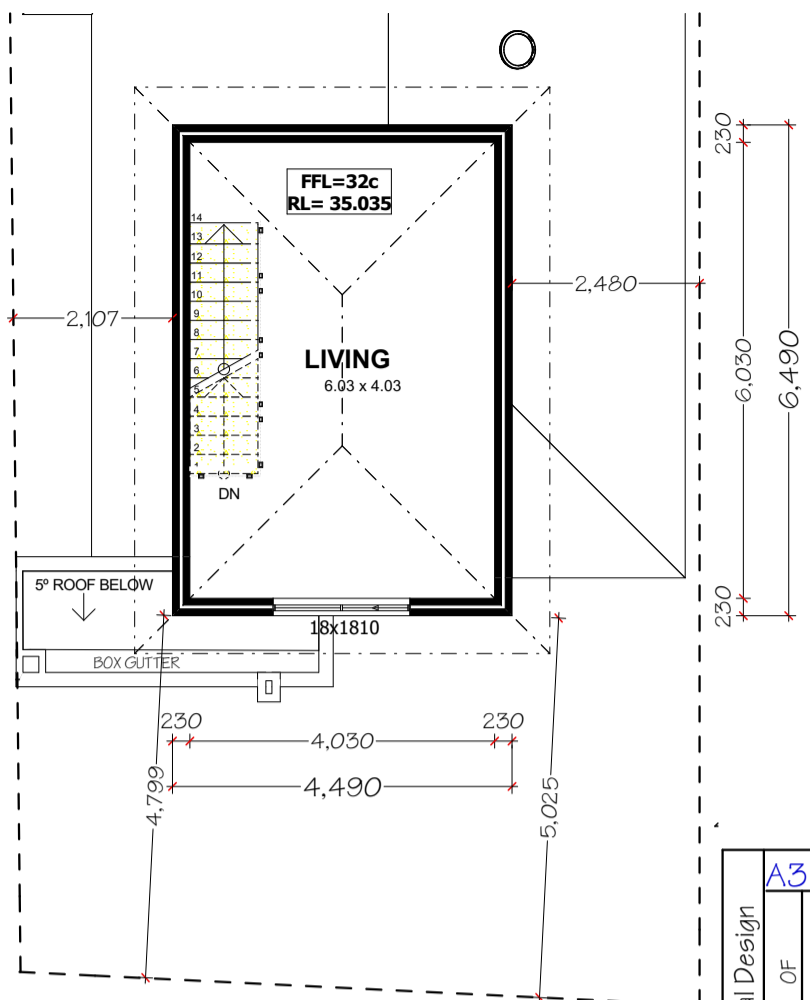
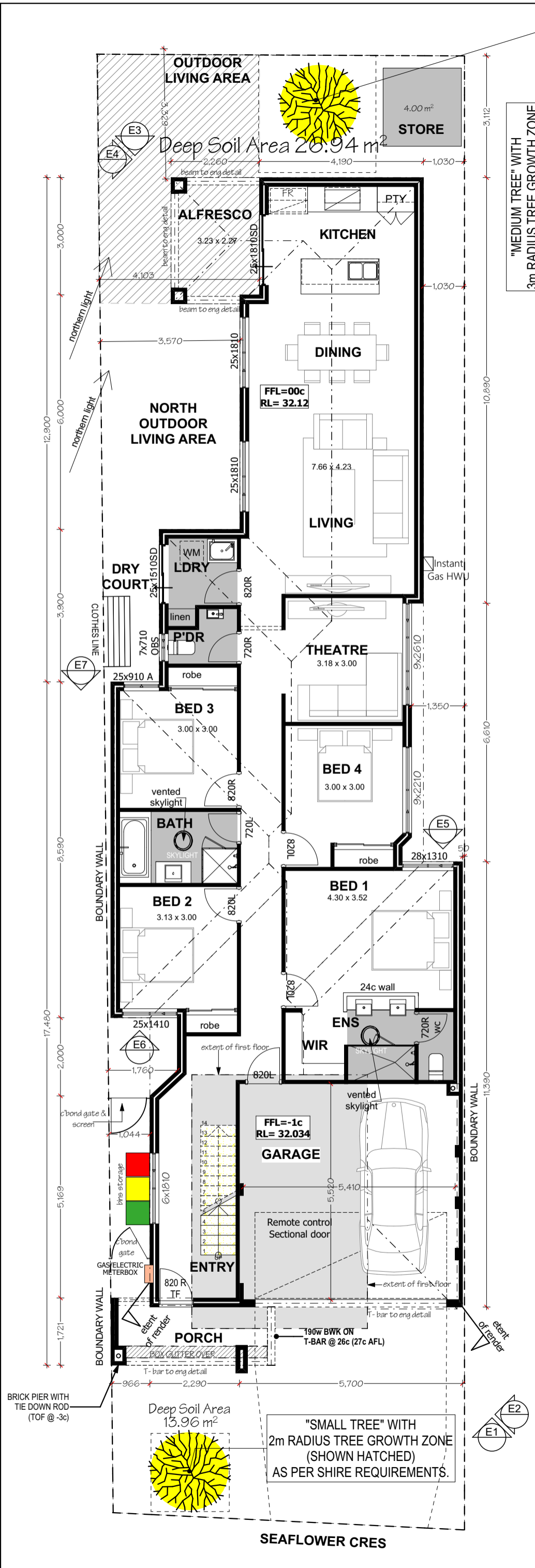
- BOUNDARY
- TOP OF KERB
- BUILDING LINE
- - - SEWER LINE

**SUBSURFACE UTILITY INFORMATION**

PRESENT ON THIS DRAWING	METHOD OF LOCATION	CLASSIFICATION OF SUBSURFACE UTILITY INFORMATION AS TABLED	POTENTIAL RISK OF UTILITY DAMAGE
✓	IDENTIFIED BY JOINTING SOURCE	QUALITY 'C' (H & V DIRECTION)	HIGH
✓	VISUAL UTILITY IDENTIFICATION (UNDERGROUND)	QUALITY 'C' (HORIZONTAL DIRECTION)	HIGH
	UTILITIES LOCATED AND MARKED (ELECTRODETECT)	QUALITY 'B' (HORIZONTAL DIRECTION)	MEDIUM
	UTILITIES IDENTIFIED THROUGH VISUAL IDENTIFICATION	QUALITY 'C' (HORIZONTAL DIRECTION)	LOW

NOTE: THIS DRAWING DOES NOT SHOW ALL SUBSURFACE UTILITIES. CURRENT DIAL BEFORE YOU DIG (CDB) INFORMATION SHOULD BE OBTAINED AND DUE DILIGENCE EXERCISED BEFORE COMMENCING ANY EXCAVATION WORKS.

<p>PHONE: 08 9457 7900 EMAIL: INFO@RMSURVEYS.COM.AU WEBSITE: RMSURVEYS.COM.AU</p> <p>SCALE 1:200 ALL DISTANCES IN METRES</p> <p>PAPER SIZE A3</p>	<p>CLIENT: URBAN ZONE PTY LTD</p> <p>SURVEYOR: JC</p> <p>SURVEY DATE: AHD</p> <p>VERTICAL DATUM: AHD</p> <p>HORIZONTAL DATUM: PCG2020</p>	<p><b>APPLICATION FOR SURVEY STRATA</b></p> <p>LOT 266 ON P 9981</p> <p>41 SEAFLOWER CRESCENT, CRAIGIE</p> <p>CITY OF JOONDALUP</p>	<p>JOB No. URBN-SEA</p> <p>DRAWING No. URBN-SEA-01</p> <p>REV 1</p>									
				<p>1 REMOVED BACKGROUND IMAGE TL BB BB 31/01/2023</p> <p>0 INITIAL ISSUE TL BB BB 31/01/2023</p> <p>REV DESCRIPTION DRWN CHKD APPVD DATE</p>	<p>SIGNATURES:</p> <p>OWNER: _____</p> <p>OWNER: _____</p> <p>BUILDER: _____</p> <p>DATE: _____</p>	<p><b>AMENDMENTS:</b></p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	Date			
No.	Description	Date										
	<p>PROPOSED RESIDENCE ON:</p> <p>SSL 1- LOT266 (#41)</p> <p>SEAFLOWER CRES.</p> <p>CRAIGIE</p> <p>FOR: TBA</p>											



**Design First Floor**  
1:100

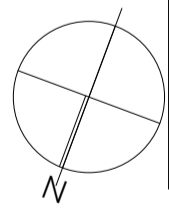
**32c CEILING TO GROUND FLOOR UNO**

**SITE COVERAGE**

ZONED	R40
% ALLOWED	55%
SITE AREA	344.32m <sup>2</sup>
SITE COV. AREA	195.57m <sup>2</sup>
<b>SITE COV. = 56.8%</b>	
ENERGY STATUS:	Energy Calc Passed

**AREAS**

ALFRESCO	7.19	
PORCH	6.57	
UPPER FLOOR	29.98	22.0
GARAGE	32.54	22.8
GROUND FLOOR	162.98	88.8
<b>TOTAL</b>	<b>239.26 m<sup>2</sup></b>	



**A3 SHEET**

Individual Design  
SHEET: 5 OF  
DRN: NM  
DATE: 31/05/23  
SCALE: 1:1, 1:100  
CONTRACT NO: TBA

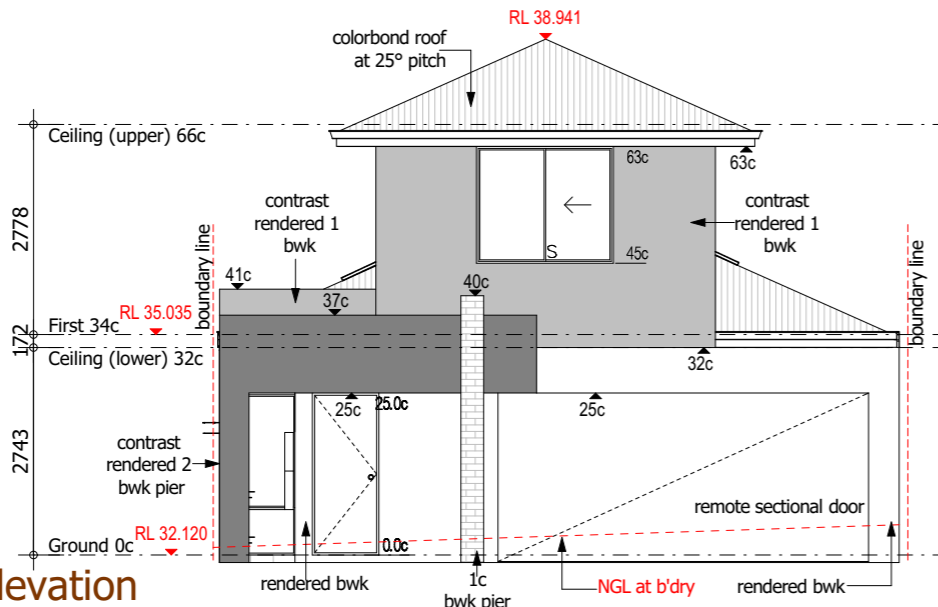
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SIGNATURES:

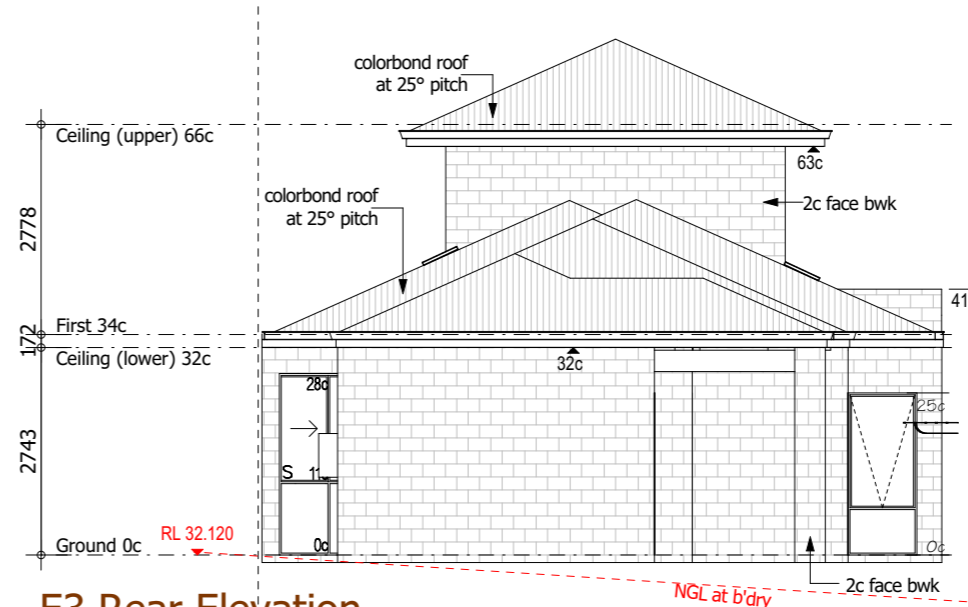
PROPOSED RESIDENCE ON:  
SSL1- LOT266 (#41)  
SEAFLOWER CRES.  
CRAIGIE  
FOR: TBA

**Trio Home**  
Builders WA Pty Ltd

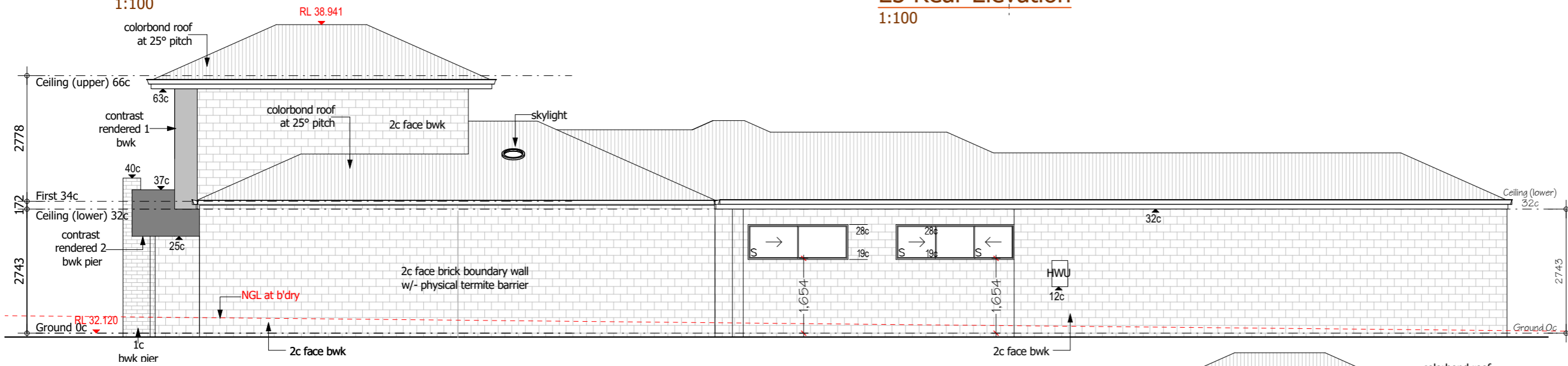
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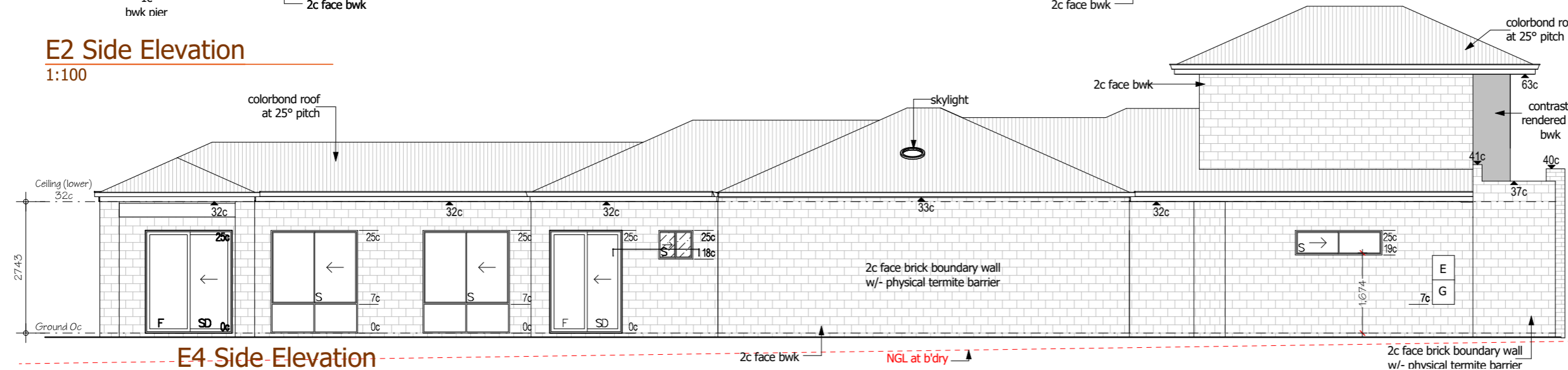
**E1 Front Elevation**  
1:100



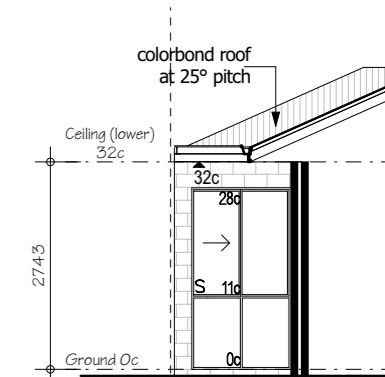
**E3 Rear Elevation**  
1:100



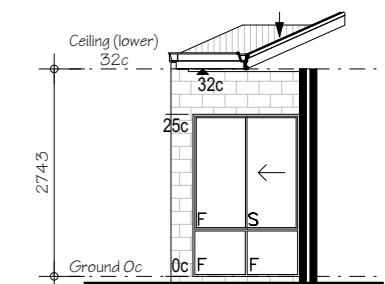
**E2 Side Elevation**  
1:100



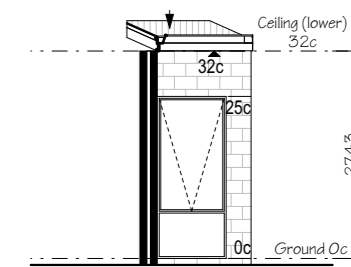
**E4 Side Elevation**  
1:100



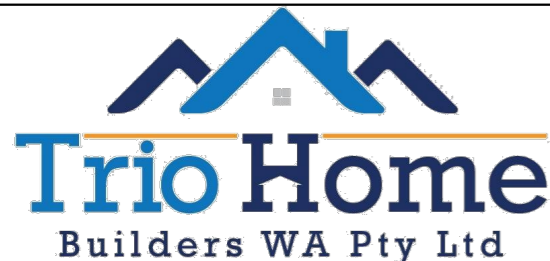
**E5**  
1:100



**E6**  
1:100



**E7**  
1:100



PROPOSED RESIDENCE ON:  
SSL 1- LOT266 (#41)  
SEAFLOWER CRES.  
CRAIGIE  
FOR:  
TBA

SIGNATURES:  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

AMENDMENTS:


Individual Design  
SHEET: 6 OF  
DRN: NM  
DATE: 31/05/23  
SCALE: 1:100  
CONTRACT NO:  
TBA

A3 SHEET



# Landscaping Plan

1:100

## LANDSCAPING LEGEND:

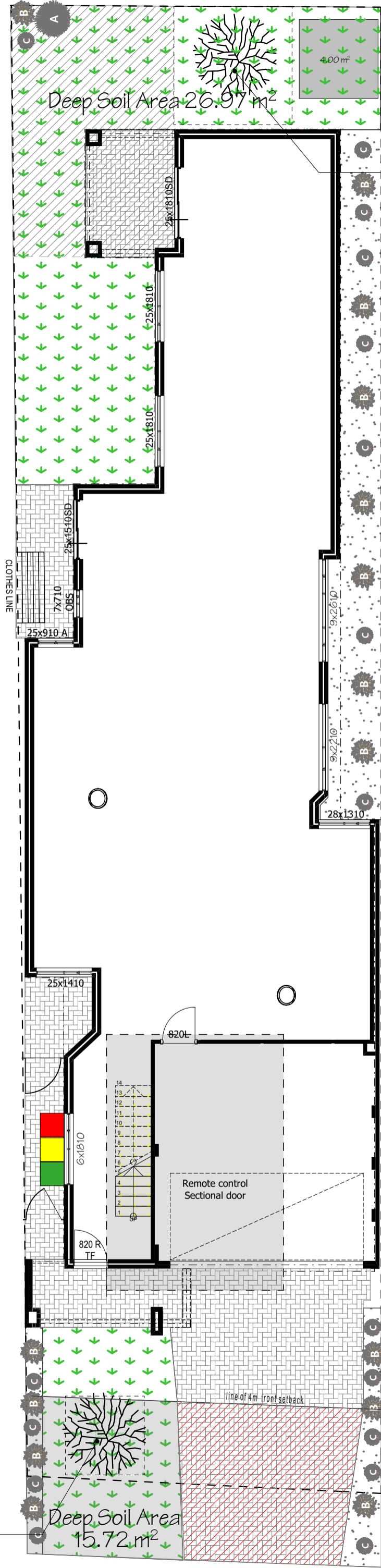
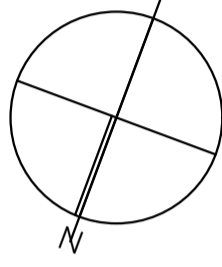
IMAGE	SYMBOL	BOTANICAL NAME / DESCRIPTION	QUANTIT	HEIGHT / SIZE / LITRES
		<i>Pyrus calleryana</i> 'Capital'	1	8-12m High, 2-3m diameter at maturity min. 200L 'STANDARD TREE' TO COUNCIL REQ'TS min. 100L 'STANDARD TREE' TO COUNCIL REQ'TS
		<i>Dianella revoluta</i> (1m Mature Height)	15	0.5-0.7 High, 1.5m diameter at maturity Pot Size: 1 Litre
		<i>Eremophila Glabra</i> Carramar Carpet	17	20cm High, 2m Spread Pot Size: 2 Litres
		<i>Xanthorrhoea</i> sp	1	2-3m High, 1m diameter at maturity Pot Size: 10 Litres - 1m high trunk height
		Lawn - kikuyu		
		Pine Bark Mulch		MIN. 70mm Thick
		New Concrete Paving Blocks		As Selected by owner

"SMALL TREE" WITH 2m RADIUS TREE GROWTH ZONE (SHOWN HATCHED) AS PER SHIRE REQUIREMENTS.

## LANDSCAPING BY OWNER

### LANDSCAPING NOTE:

- PLANTING:**
- ALL LANDSCAPING AND PLANT SELECTIONS TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
  - ALL GARDEN BEDS TO BE MULCHED MIN. 75mm
- IRRIGATION:**
- ALL GARDEN BEDS & TURFED AREAS TO BE IRRIGATED VIA FULLY AUTOMATIC SYSTEM FROM MAINS WATER.
  - ALL TURF TO BE IRRIGATED VIA POP UP SPRINKLERS.
  - ALL SHRUBS TO BE IRRIGATED VIA DRIP LINE.
  - ALL TREES TO BE IRRIGATED VIA BUBBLERS.
  - IRRIGATION SYSTEM SHALL HAVE MINIMUM TWO ZONES TO ALLOW TURF AND GARDEN BEDS/TREES TO BE WATERED SEPARATELY.
  - IRRIGATION SYSTEM TO BE PROGRAMMED TO PERMITTED WATERING DAYS AND DURATION IN ACCORDANCE TO LOCAL COUNCIL GUIDELINES.
  - RETICULATION PLUMBING TO BE CONFIRMED ON SITE BY LANDSCAPER



Total Landscaping Area = 27m²  
 front setback area = 36.06 m²  
 hardstand area = 17.37 m² OR 49.37%

"MEDIUM TREE" WITH 3m RADIUS TREE GROWTH ZONE (SHOWN HATCHED) AS PER SHIRE REQUIREMENTS.



PROPOSED RESIDENCE ON:  
 SSL 1 - LOT 266 (#41)  
 SEAFLOWER CRES.  
 CRAIGIE  
 FOR:  
 TBA

### SIGNATURES:

OWNER: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

### AMENDMENTS:

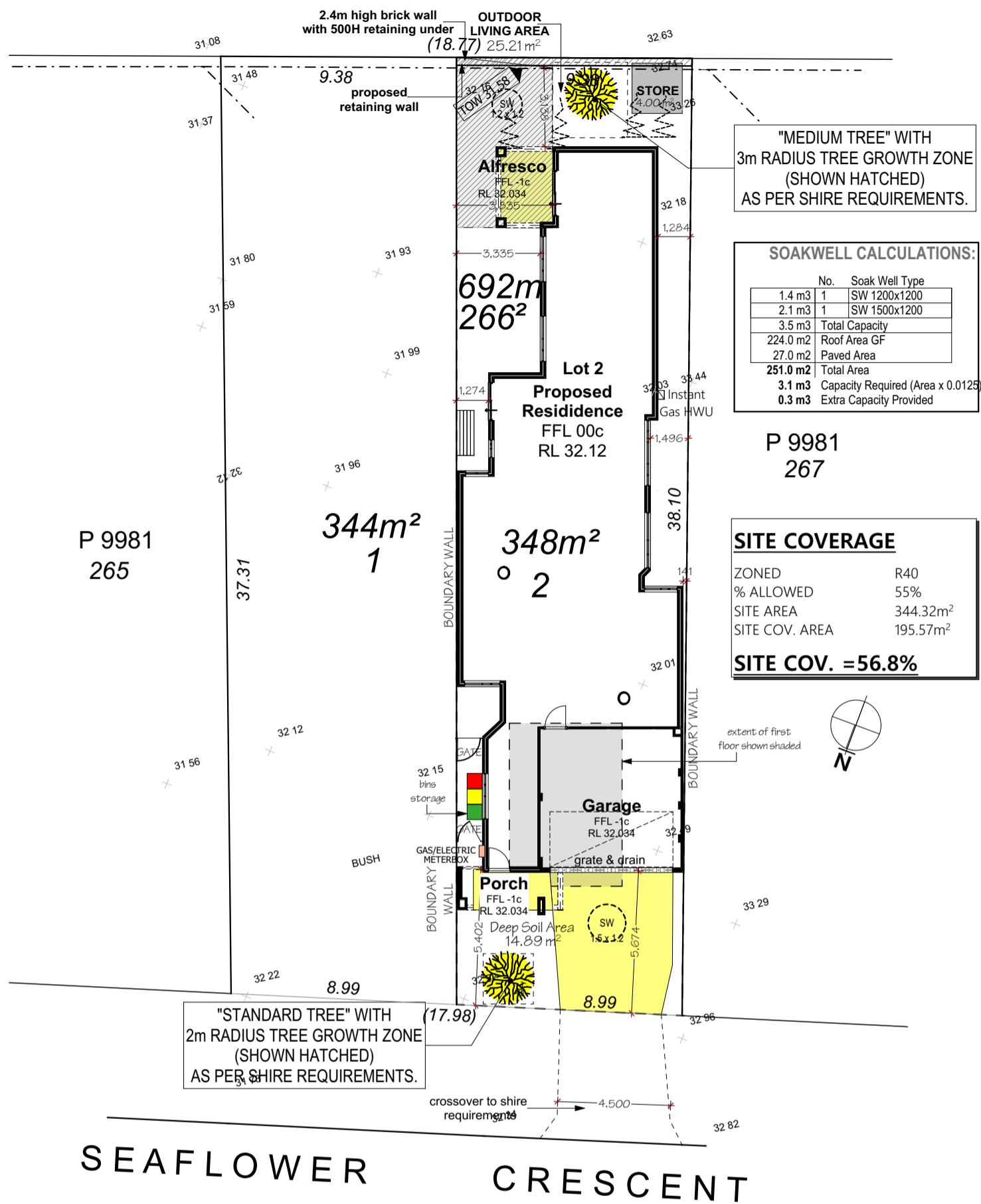
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 SHEET: 4 OF  
 DRN: NM  
 DATE: 31/05/23  
 SCALE: 1:100  
 CONTRACT NO:  
 TBA

A3 SHEET

SSL 2- LOT266 (#41)  
SEAFLOWER CRES.  
CRAIGIE



# WHITFORDS AVENUE



Site Plan  
1:200

NOTE: THE BOUNDARIES SHOWN ON THIS PLAN WERE NOT RE-ESTABLISHED AS PART OF THIS SURVEY. PRIOR TO ANY STRUCTURE OR FEATURE MODIFICATION, THE BOUNDARIES SHOULD BE VERIFIED BY A BOUNDARY RE-ESTABLISHMENT SURVEY.

**LEGEND**

- SEWER MANHOLE
- + NAT SURFACE PT
- TREE
- ⊥ WATER METER

**LINE TYPES**

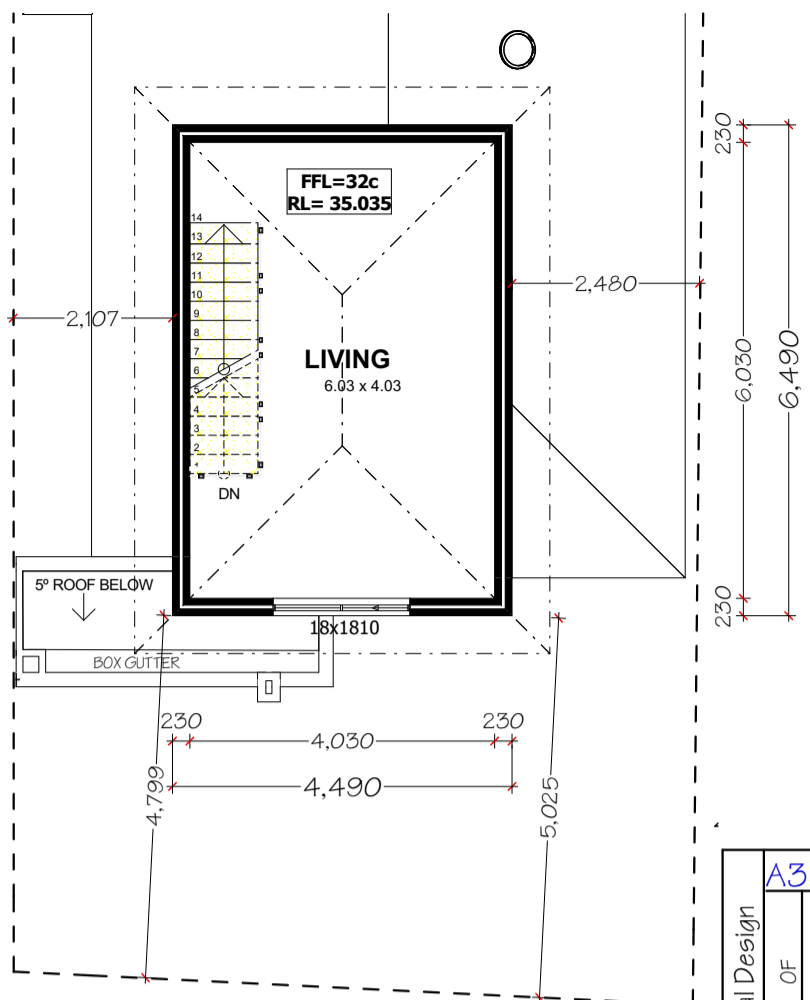
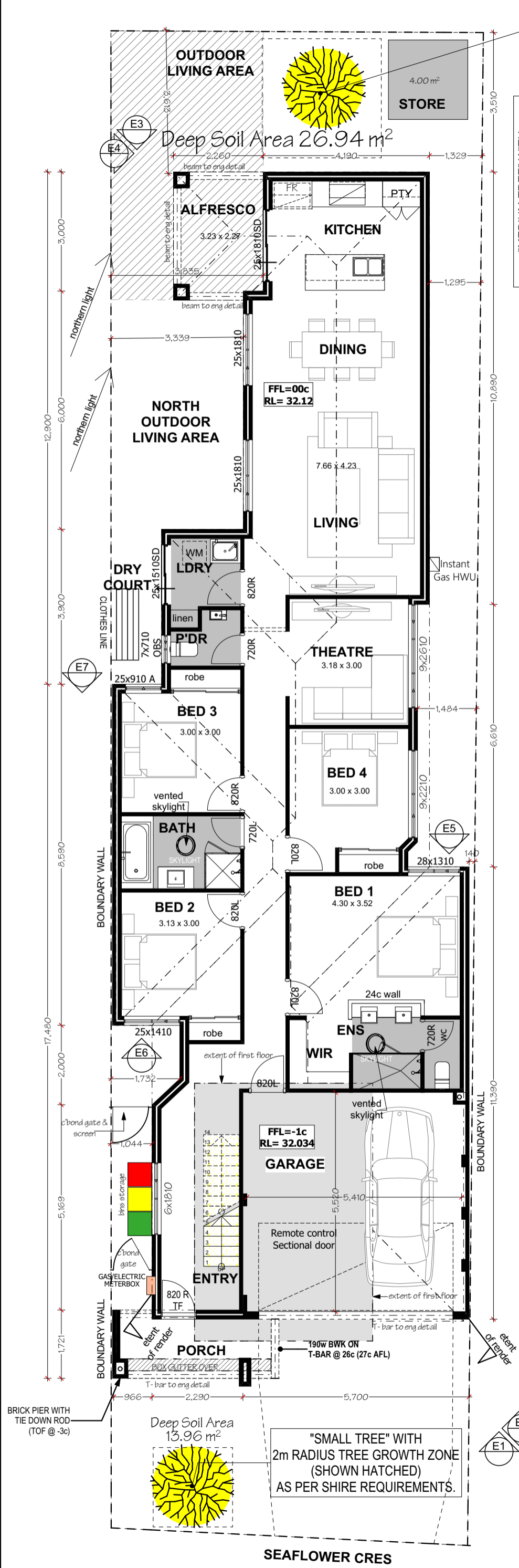
- BOUNDARY
- TOP OF KERB
- BUILDING LINE
- SEWER LINE

**SUBSURFACE UTILITY INFORMATION**

PRESENT ON THIS DRAWING	METHOD OF LOCATION	CLASSIFICATION OF SUBSURFACE UTILITY INFORMATION AS TABLED	POTENTIAL RISK OF UTILITY DAMAGE
✓	IDENTIFIED BY JOINTING SOURCE	QUALITY "C" (H & V DIRECTION)	HIGH
✓	VISUAL UTILITY IDENTIFICATION (UNDERGROUND)	QUALITY "C" (HORIZONTAL DIRECTION)	HIGH
	UTILITIES LOCATED AND MARKED (ELECTRODETECT)	QUALITY "B" (HORIZONTAL DIRECTION)	MEDIUM
	UTILITIES IDENTIFIED THROUGH VISUAL IDENTIFICATION	QUALITY "A" (HORIZONTAL DIRECTION)	LOW

NOTE: THIS DRAWING DOES NOT SHOW ALL SUBSURFACE UTILITIES. CURRENT DIAL BEFORE YOU DIG (CDB) INFORMATION SHOULD BE OBTAINED AND DUE DILIGENCE EXERCISED BEFORE COMMENCING ANY EXCAVATION WORKS.

 PHONE: 08 9457 7900 EMAIL: INFO@RMSURVEYS.COM.AU WEBSITE: RMSURVEYS.COM.AU	CLIENT: <b>URBAN ZONE PTY LTD</b>	SURVEYOR	JC			<b>APPLICATION FOR SURVEY STRATA</b> LOT 266 ON P 9981 41 SEAFLOWER CRESCENT, CRAIGIE CITY OF JOONDALUP		
		SURVEY DATE						
VERTICAL DATUM	AHD							
HORIZONTAL DATUM	PCG2020							
0	INITIAL ISSUE	TL	BB	BB	31/01/2023	JOB No. URBN-SEA	DRAWING No. URBN-SEA-01	REV 1
1	REMOVED BACKGROUND IMAGE	TL	BB	BB	31/01/2023			
REV	DESCRIPTION	DRWN	CHKD	APPVD	DATE			
 PROPOSED RESIDENCE ON: SSL 2- LOT266 (#41) SEAFLOWER CRES. CRAIGIE FOR: TBA		SIGNATURES: OWNER: _____ OWNER: _____ BUILDER: _____ DATE: _____			AMENDMENTS: _____ _____ _____		<b>Individual Design</b> SHEET:3 OF DRN: NM DATE: 31/05/23 DSN: SCALE: 1:200 CONTRACT NO: TBA	



**Design First Floor**  
1:100

**AREAS**

ALFRESCO	7.19
PORCH	6.57
UPPER FLOOR	29.98
GARAGE	32.54
GROUND FLOOR	162.98
<b>TOTAL</b>	<b>239.26 m<sup>2</sup></b>

**32c CEILING TO GROUND FLOOR UNO**

**SITE COVERAGE**

ZONED	R40
% ALLOWED	55%
SITE AREA	344.32m <sup>2</sup>
SITE COV. AREA	195.57m <sup>2</sup>
SITE COV. =	56.8%
<b>ENERGY STATUS:</b>	<b>Energy Calc Passed</b>

**A3 SHEET**

Individual Design

SHEET: 5 OF

DRN: NM

DATE: 31/05/23

SCALE: 1:1, 1:100

CONTRACT NO: TBA

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AMENDMENTS:


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SIGNATURES:

OWNER: \_\_\_\_\_

OWNER: \_\_\_\_\_

BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_

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PROPOSED RESIDENCE ON:

SSL 2- LOT266 (#41)

SEAFLOWER CRES.

CRAIGIE

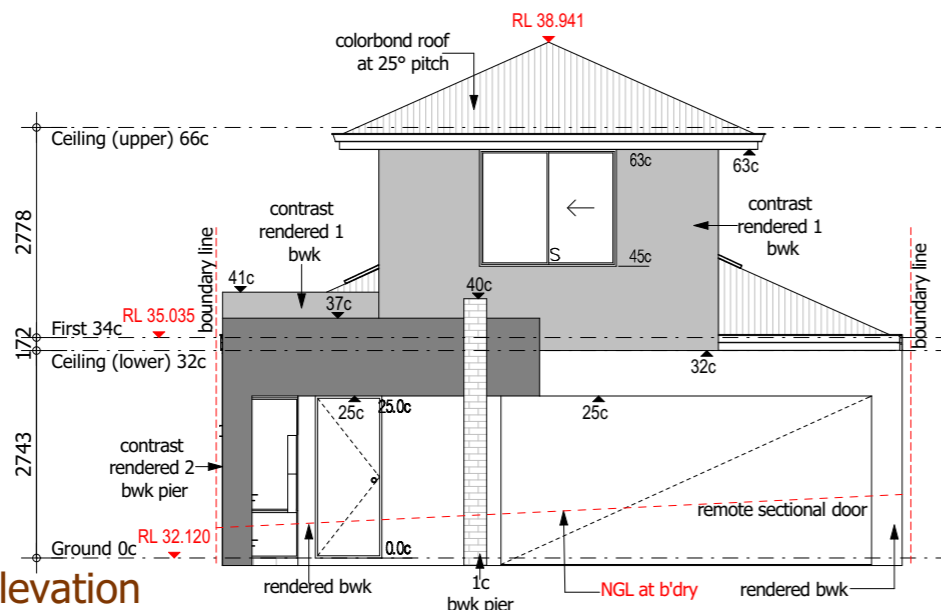
FOR: TBA

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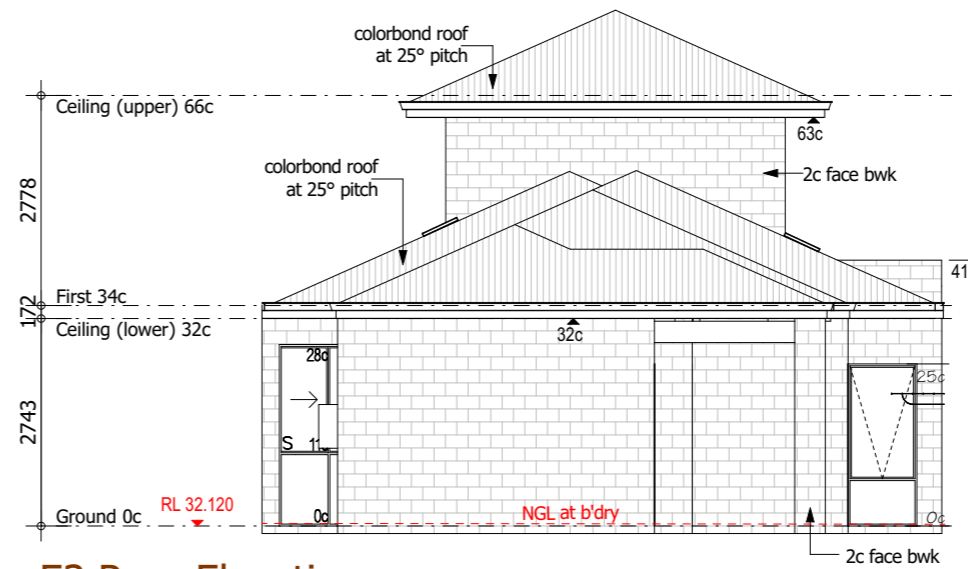
**Trio Home**  
Builders WA Pty Ltd

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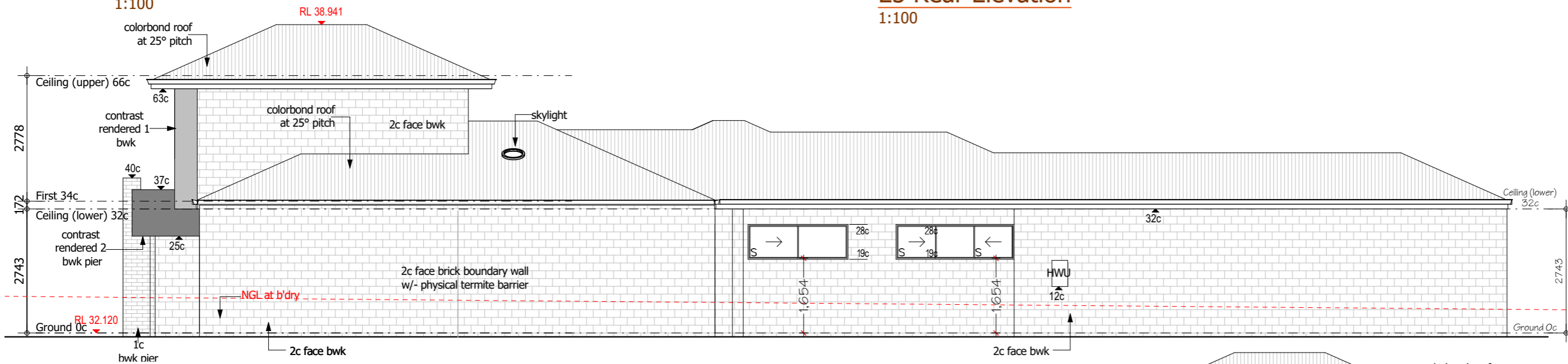




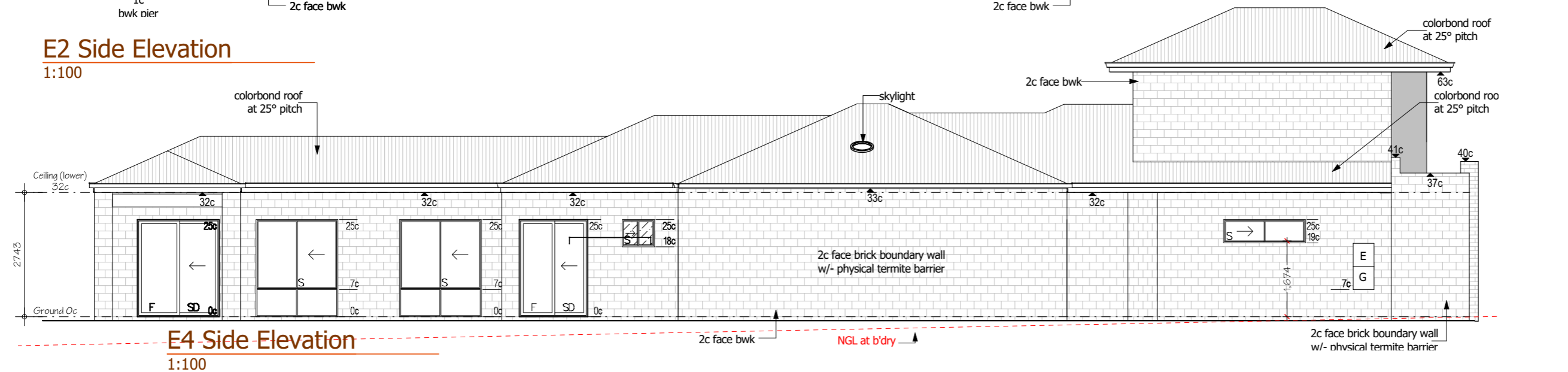
**E1 Front Elevation**  
1:100



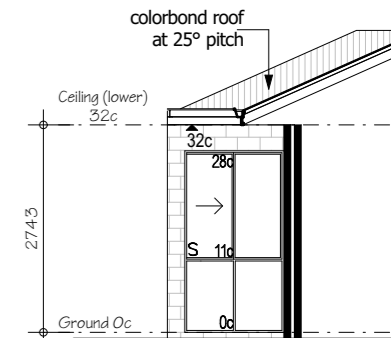
**E3 Rear Elevation**  
1:100



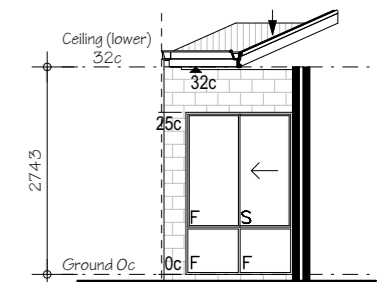
**E2 Side Elevation**  
1:100



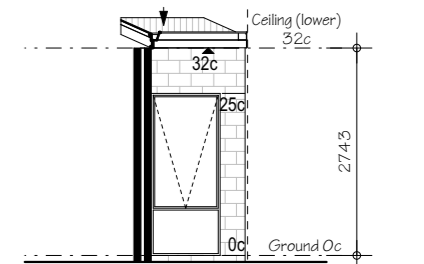
**E4 Side Elevation**  
1:100



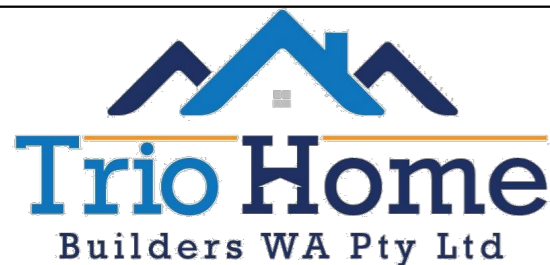
**E5**  
1:100



**E6**  
1:100



**E7**  
1:100



PROPOSED RESIDENCE ON:  
SSL 2-LOT266 (#41)  
SEAFLOWER CRES.  
CRAIGIE  
FOR:  
TBA

SIGNATURES:  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

AMENDMENTS:

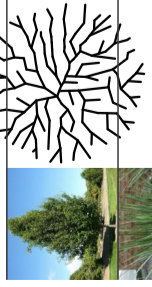
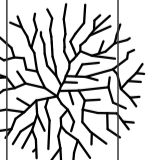


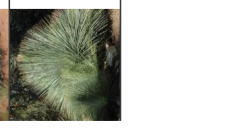










Individual Design  
SHEET: 6 OF  
DRN: NM  
DATE: 31/05/23  
SCALE: 1:100  
CONTRACT NO:  
TBA

A3 SHEET

# Landscaping Plan

1:100

### LANDSCAPING LEGEND:

IMAGE	SYMBOL	BOTANICAL NAME / DESCRIPTION	QUANTIT	HEIGHT / SIZE / LITRES
		<i>Pyrus calleryana</i> 'Capital' min. 200L *STANDARD TREE* TO COUNCIL REQTS min. 100L *STANDARD TREE* TO COUNCIL REQTS	1	8-12m High, 2-3m diameter at maturity
		<i>Dianella revoluta</i> (1m Mature Height)	15	0.5-0.7 High, 1.5m diameter at maturity Pot Size: 1 Litre
		<i>Eremophila Glabra</i> Carramar Carpet	17	20cm High, 2m Spread Pot Size: 2 Litres
		<i>Xanthorrhoea</i> sp	1	2-3m High, 1m diameter at maturity Pot Size: 10 Litres - 1m high trunk height
		Lawn - kikuyu		
		Pine Bark Mulch		
		New Concrete Paving Blocks		

MIN. 70mm Thick

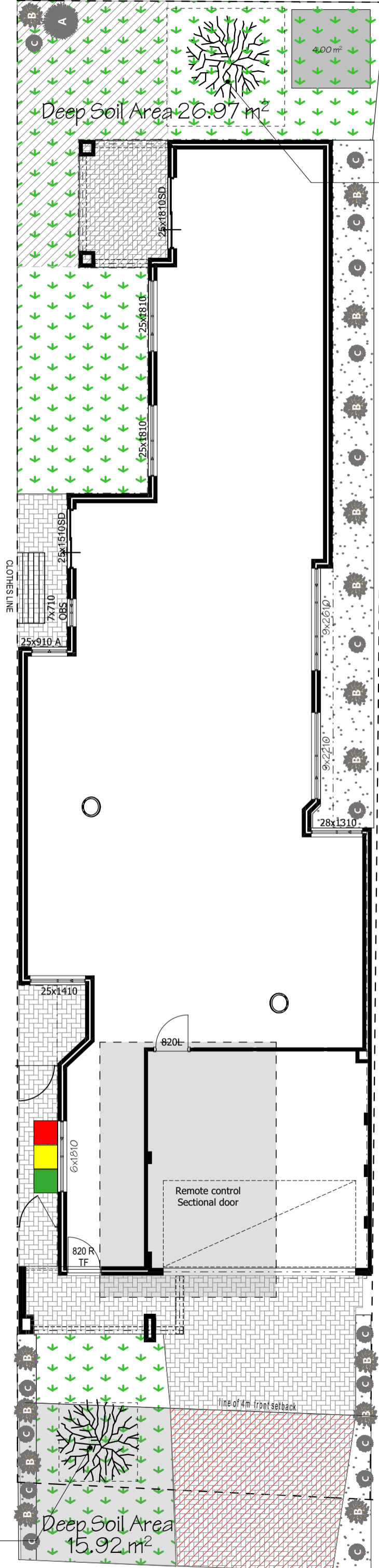
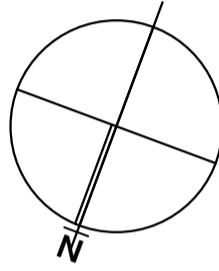
As Selected by owner

"SMALL TREE" WITH 2m RADIUS TREE GROWTH ZONE (SHOWN HATCHED) AS PER SHIRE REQUIREMENTS.

### LANDSCAPING BY OWNER

#### LANDSCAPING NOTE:

- PLANTING:**
- ALL LANDSCAPING AND PLANT SELECTIONS TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
  - ALL GARDEN BEDS TO BE MULCHED MIN. 75mm
- IRRIGATION:**
- ALL GARDEN BEDS & TURFED AREAS TO BE IRRIGATED VIA FULLY AUTOMATIC SYSTEM FROM MAINS WATER.
  - ALL TURF TO BE IRRIGATED VIA POP UP SPRINKLERS.
  - ALL SHRUBS TO BE IRRIGATED VIA DRIP LINE.
  - ALL TREES TO BE IRRIGATED VIA BUBBLERS.
  - IRRIGATION SYSTEM SHALL HAVE MINIMUM TWO ZONES TO ALLOW TURF AND GARDEN BEDS/TREES TO BE WATERED SEPARATELY.
  - IRRIGATION SYSTEM TO BE PROGRAMMED TO PERMITTED WATERING DAYS AND DURATION IN ACCORDANCE TO LOCAL COUNCIL GUIDELINES.
  - RETICULATION PLUMBING TO BE CONFIRMED ON SITE BY LANDSCAPER



Total Landscaping Area = 27m<sup>2</sup>  
 front setback area = 35.79 m<sup>2</sup>  
 hardstand area = 17.37 m<sup>2</sup> OK 49.37%

"MEDIUM TREE" WITH 3m RADIUS TREE GROWTH ZONE (SHOWN HATCHED) AS PER SHIRE REQUIREMENTS.

## Trio Home

**Builders WA Pty Ltd**

PROPOSED RESIDENCE ON:

**SSL 2 - LOT 266 (#41)**

**SEAFLOWER CRES.**

**CRAIGIE**

FOR:

**TBA**

---

SIGNATURES:

OWNER: \_\_\_\_\_

OWNER: \_\_\_\_\_

BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_

AMENDMENTS:


---

Individual Design

SHEET: 4 OF \_\_\_\_\_

DRN: NM

DATE: 31/05/23

SCALE: 1:100

CONTRACT NO: TBA

**A3 SHEET**