

1140 PROPOSED RESIDENCE FOR: PAYNE AT #10A WESTERLY CRES, HEATHRIDGE

GROUND FLOOR PLAN 1 OF 4			AREAS		
A.M.	DATE	DESCRIPTION	LOCATION	AREA	PERIMETER
A.M.	18-12-23	AMENDED DESIGN CONCEPT	GROUND FLOOR	138.486m <sup>2</sup>	56.013m
A.M.	07-01-23	DA DRAWINGS	DOUBLE GARAGE	39.442m <sup>2</sup>	
A.M.	01-03-23	AMENDED DA DRAWINGS	PORTICO	0.990m <sup>2</sup>	
			GROUND ROOF	186.411m <sup>2</sup>	59.756m

NOTES

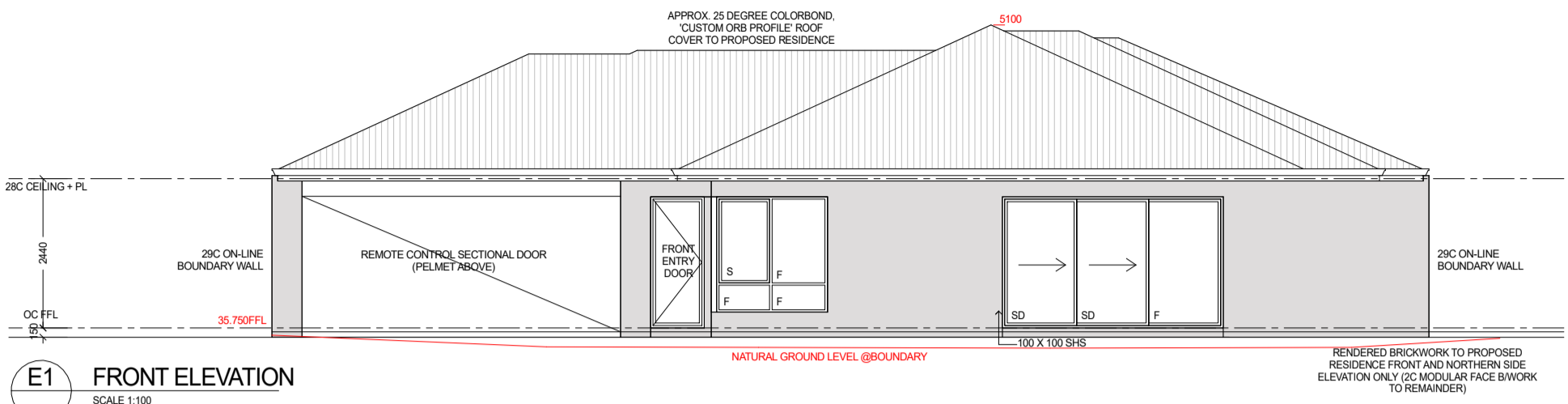
a) DRAWINGS ARE FOR PLANNING APPROVAL PURPOSES ONLY, NOT FOR BUILDING APPROVAL OR CONSTRUCTION PURPOSES

b) DESIGN OF DWELLING IS SUBJECT TO CHANGE THROUGH APPROVAL PROCESS

SCALE 1:100 ON A3

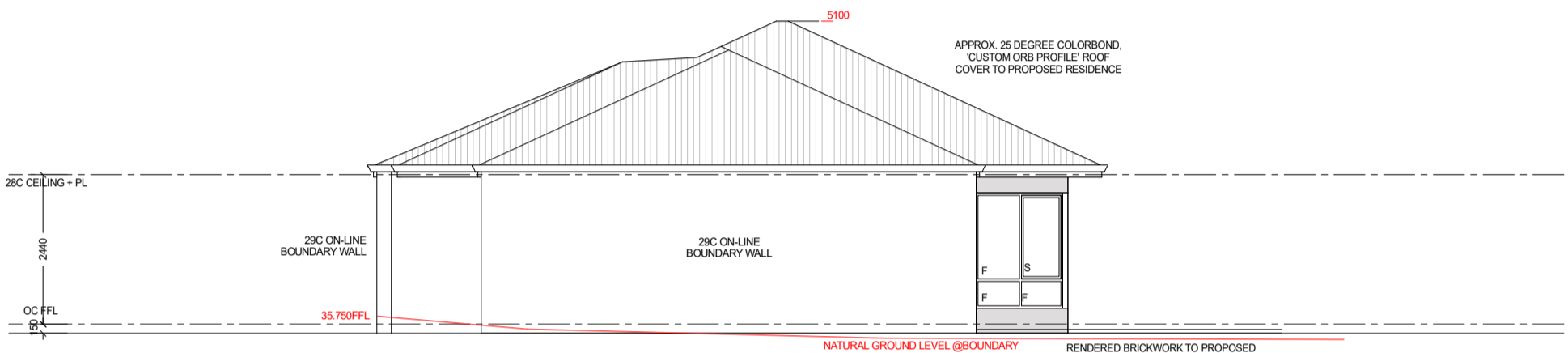
NORTH POINT





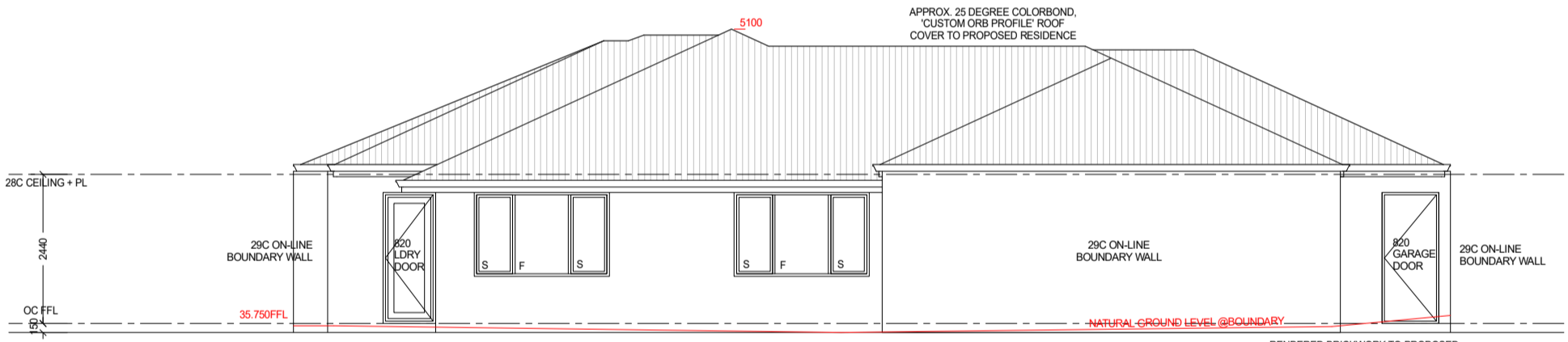
**E1 FRONT ELEVATION**  
SCALE 1:100

RENDERED BRICKWORK TO PROPOSED RESIDENCE FRONT AND NORTHERN SIDE ELEVATION ONLY (2C MODULAR FACE BWORK TO REMAINDER)



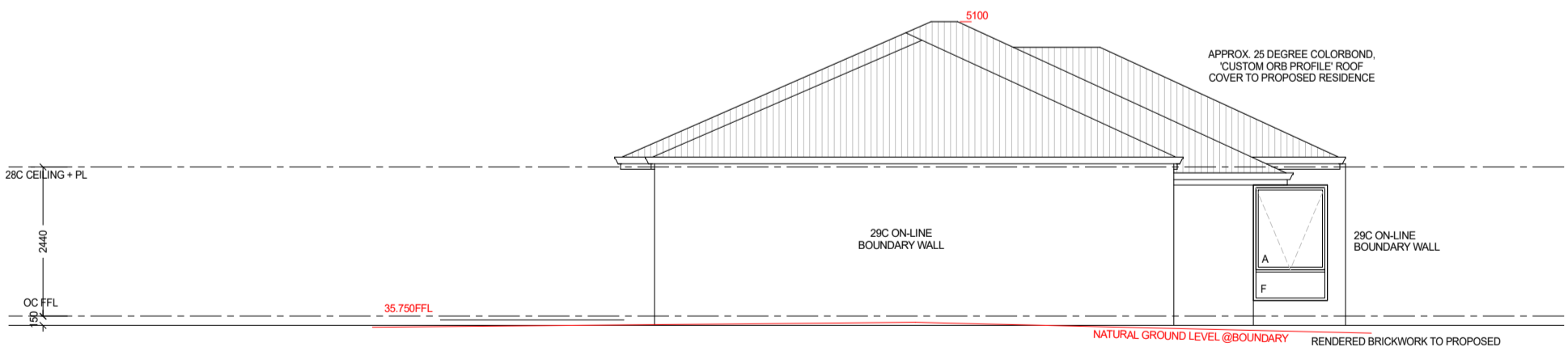
**E2 SIDE ELEVATION**  
SCALE 1:100

RENDERED BRICKWORK TO PROPOSED RESIDENCE FRONT AND NORTHERN SIDE ELEVATION ONLY (2C MODULAR FACE BWORK TO REMAINDER)



**E3 REAR ELEVATION**  
SCALE 1:100

RENDERED BRICKWORK TO PROPOSED RESIDENCE FRONT AND NORTHERN SIDE ELEVATION ONLY (2C MODULAR FACE BWORK TO REMAINDER)



**E4 SIDE ELEVATION**  
SCALE 1:100

RENDERED BRICKWORK TO PROPOSED RESIDENCE FRONT AND NORTHERN SIDE ELEVATION ONLY (2C MODULAR FACE BWORK TO REMAINDER)

<p>0409 271 839 ASHLEIGH@GRNRESIDENTIAL.COM.AU</p>	<b>1140 PROPOSED RESIDENCE FOR: PAYNE AT #10A WESTERLY CRES, HEATHRIDGE</b>				
	<b>ELEVATIONS</b> 2 OF 4		<b>AREAS</b>		<b>NOTES</b>
	A.M. 18-12-23	AMENDED DESIGN CONCEPT	LOCATION	AREA	PERIMETER
A.M. 07-01-23	DA DRAWINGS	GROUND FLOOR	138.486m <sup>2</sup>	56.013m	
A.M. 01-03-23	AMENDED DA DRAWINGS	DOUBLE GARAGE	39.442m <sup>2</sup>		
		PORTICO	0.990m <sup>2</sup>		
		GROUND ROOF	186.411m <sup>2</sup>	59.756m	

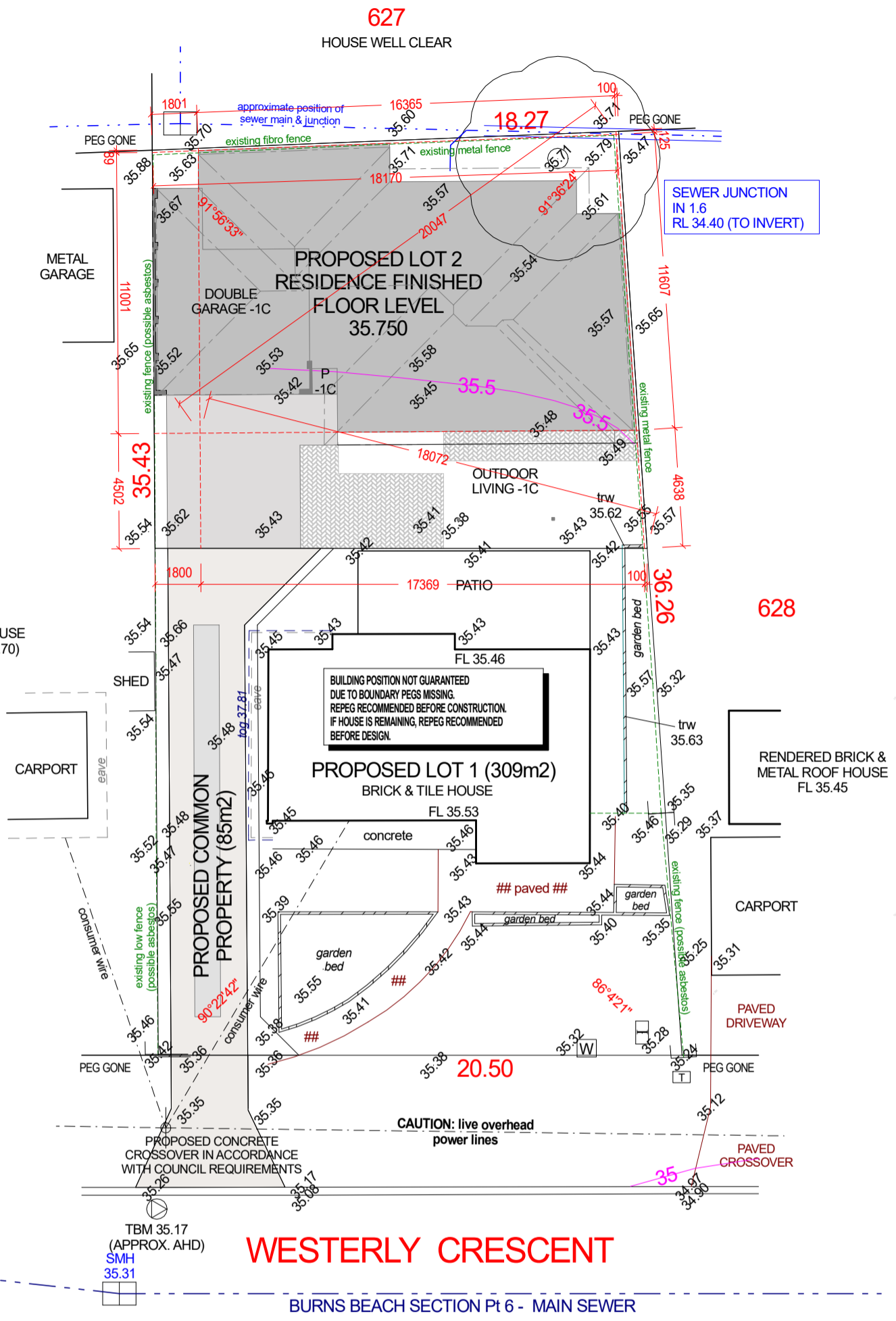
SCALE 1:100 ON A3

NORTH POINT

**PROPOSED SITE COVERAGE:**  
 SITE AREA - 300SQM + 42.5CP ALLOWANCE  
 AREA OF COVERED - 178.9SQM  
 OPEN SPACE REQUIRED - 45% MIN  
 PERCENTAGE OF OPEN SPACE - 47.8%

**SAND PAD LEVELS:**  
 HOUSE S.P.L. - 35.650  
 PORTICO S.P.L. - 35.578  
 GARAGE S.P.L. - 35.578

**CROSSOVER NOTE:**  
 CROSSOVER TO BE CONSTRUCTED  
 IN ACCORDANCE WITH COUNCIL  
 REQUIREMENTS



**NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.**

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	SITE PLAN	3 OF 4	AREAS	NOTES	
	A.M. 18-12-23	AMENDED DESIGN CONCEPT	LOCATION	AREA	
A.M. 06-01-23	DA DRAWINGS	GROUND FLOOR	144.331m2	57.045m	
A.M. 01-03-24	AMENDED DA DRAWINGS	DOUBLE GARAGE	39.442m2		
		ALFRESCO	11.430m2		
		PORTICO	0.990m2		
		GROUND ROOF	204.337m2	65.745m	

IMPORTANT NOTE:  
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.  
 CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS  
 PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.

REF NO: 67906 FILE NO: 365 DATE: 31.10.17 DRAWN: AC

**SURVEYOR SITE INSPECTION REPORT**

ELECTRICITY:	OVERHEAD	GAS:	NOT SIGHTED
PHONE:	YES	WATER:	YES
SEWERAGE:	YES, ABOUT 1.2m DEEP (TO INVERT)		
ROAD:	BITUMEN		
KERB:	MOUNTABLE (cracked)		
FOOTPATH:	NIL		
VEGETATION:	ESTABLISHED GARDENS & TREES		
SOIL:	SAND & POSSIBLE LIMESTONE AT DEPTH		
VIEWS:	NIL		
REPEG:	REQUIRED		
REPEG TYPE:	OLD SURVEY AREA		

**NOTES**  
 All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.  
 Block located more than 1 kilometre from the ocean.

**TITLE DETAILS**  
 LOT NOS: 629 C/T VOL: n/a  
 Plan: 14336 FOL: n/a

Local Authority : JOONDALUP

**R. G. LESTER & ASSOCIATES**  
 LICENSED LAND & ENGINEERING SURVEYORS  
 SHOP 7, NORTH BEACH PLAZA  
 1 NORTH BEACH ROAD  
 NORTH BEACH, WA 6020  
 PH: 9448 5009 - FX: 9203 6722  
 admin@lestersurveys.com.au

SHEET No : 1 of 1  
 JOB No: 67906

**SITE PLAN 1:200 at A3**

ROAD:	BITUMEN
KERB:	MOUNTABLE (cracked)
FOOTPATH:	NIL
VEGETATION:	ESTABLISHED GARDENS & TREES
SOIL:	SAND & POSSIBLE LIMESTONE AT DEPTH
VIEWS:	NIL
REPEG:	REQUIRED
REPEG TYPE:	OLD SURVEY AREA

**LEGEND**

	T.B.M.		HYDRANT
	POWER DOME		STOP VALVE
	NBN		TAP
	TELECOM PIT		PRE-LAID WATER PIPE
	IRRIGATION		WATER METER
	FENCE END		GRAATED DRAIN
	PILLAR		SIDE ENTRY PIT
	TREE STUMP		DRAINAGE MANHOLE
			SEWERAGE MANHOLE
			SEWERAGE INSPECTION LID

trw - DENOTES TOP OF RETAINING WALL

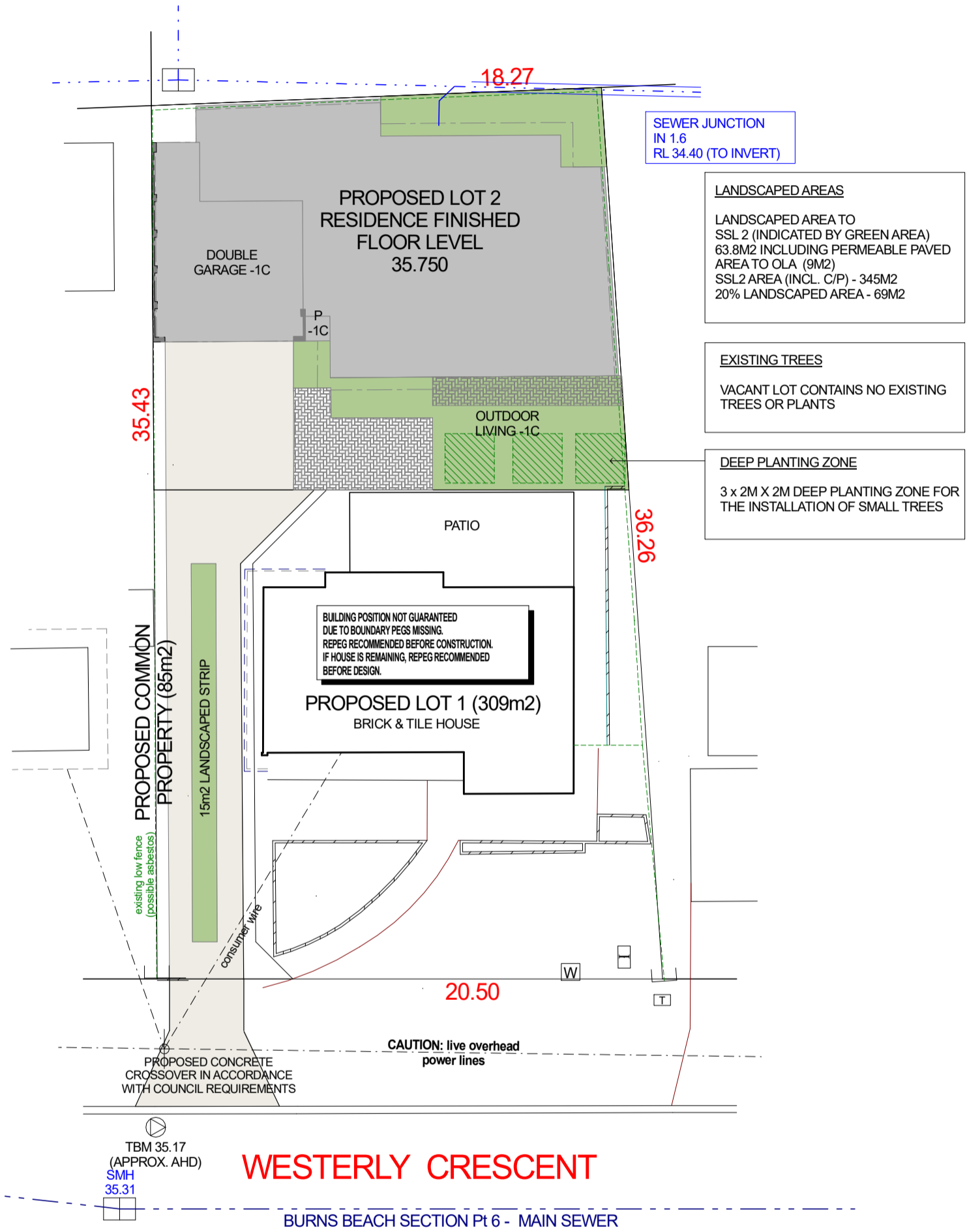
POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

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AUSTRALIAN HEIGHT DATUM (AHD)  
 DERIVED FROM SEWER MANHOLE  
 N0730 LID LEVEL.



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LANDSCAPING PLAN			4 OF 4	AREAS	NOTES
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A.M.	07-01-23	DA DRAWINGS			
A.M.	01-03-24	AMENDED DA DRAWINGS			

