

CONTOUR & FEATURE SURVEY

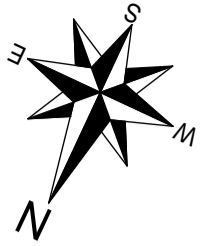
LOT Lot 901 (DP 417346)
 ADDRESS #17 Melissa Street, Duncraig
 LGA CITY OF JOONDALUP
 GPS Lat: -31.817670 Long: 115.763789
 SSA No AREA 340m² VOL.4001 FOL.466



87-89 Guthrie SPO Box 1611
 Osborne Park Osborne Park BC
 WA 6017 WA 6917
 P: (08) 9446 7361
 E: perth@cottage.com.au
 W: www.cottage.com.au

JOB: 562397 DATE: 18 Dec 23 DRAWN: R. Mohen

ELEC.	U/Ground / O/Head	SEWER	Yes	ROADS	Bitumen	COASTAL	No
(Approx. Only - Confirm With Shire)							
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Mountable	VEG.	Light Grass Cover

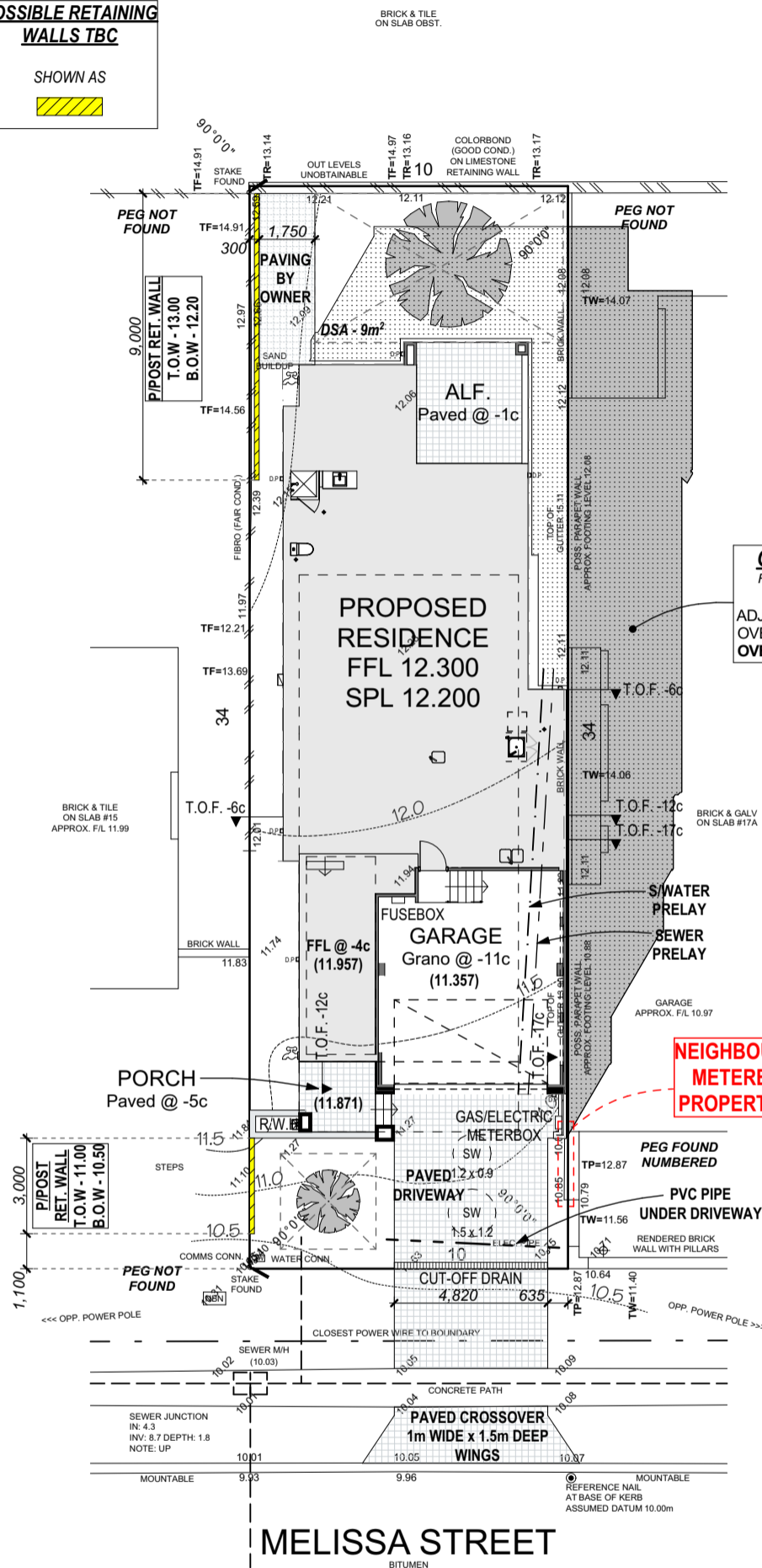


Paving Areas	
Paving	Area
Paving	52.2
	52.2 m ²

LEGEND

⊕	POWER DOME
⊖	POWER POLE
⊗	PHONE PIT
⊙	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

POSSIBLE RETAINING WALLS TBC
 SHOWN AS



OVERSHADOWING NOTES:
 FILL DENOTES EXTENT OF SHADOWS AT NOON OF WINTER SOLSTICE
 ADJOINING LOT AREA: 340m²
 OVERSHADOWING AREA: 85.24m²
 OVERSHADOWING: 25%

NEIGHBOURING STRUCTURE/METERBOX BUILT WITHIN PROPERTY TO BE REMOVED

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

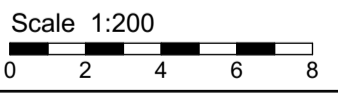
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

BEWARE:
 OVERHEAD POWER LINES IN AREA ADVISE TRADES

SITE NOTES:
 REFER TO SHEET 2 FOR SETOUT & SETBACK DIMENSIONS.
 TERMITE TREATMENT IS TO BE FULL TERMIMESH SYSTEM IN ACCORDANCE WITH A.S. 3660.1.
 STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & A.S./NZ 3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE & SHIRE REQUIREMENTS.

LOT MISCLOSE
 0.000 m



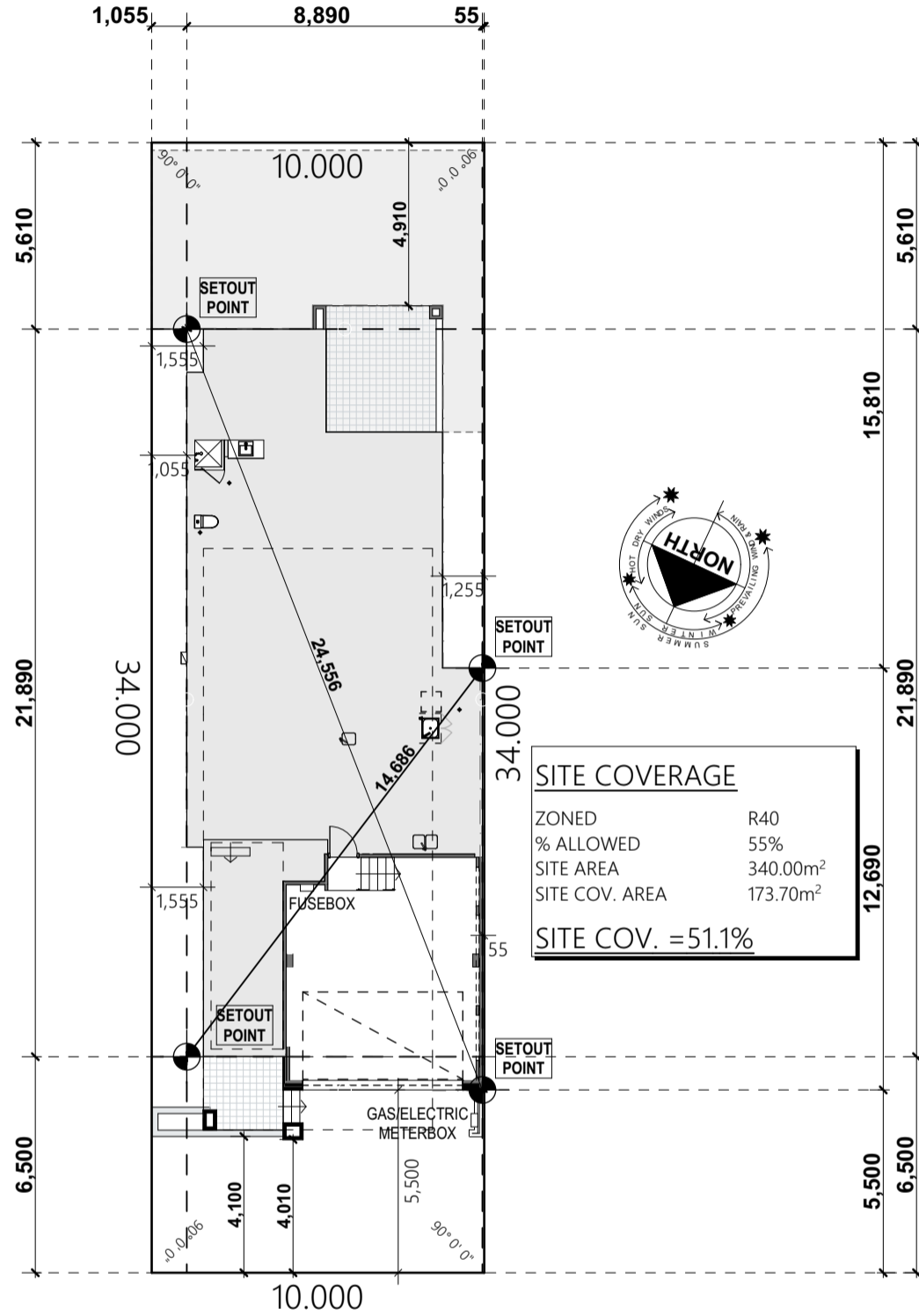
SITE ADDRESS	CITY/ SHIRE OF
#17 MELISSA STREET, DUNCRAIG	JOONDALUP
CLIENT NAME	DATE
SIGNATURE	____/____/____
CLIENT NAME	DATE
SIGNATURE	____/____/____

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACTS

CUSTOM
 JOB No.
PREMIUM
SITE PLAN
 1 of 8

REV NO.	VARIATION	DRAWN	BY
1.	WORKING DRAWINGS	30/10/23	AG
2.	WINDOWS	2-2-24	DC
3.	-	-	XX
4.	-	-	XX
5.	-	-	XX
6.	-	-	XX
7.	-	-	XX
8.	-	-	XX
9.	-	-	XX
10.	-	-	XX
11.	-	-	XX

OUTDOOR LIVING AREA	
	Area
Total OLA Area	68.5
Uncovered OLA Area	55.0



SITE ADDRESS #17 MELISSA STREET, DUNCRAIG	CITY/ SHIRE OF JOONDALUP
CLIENT NAME _____ SIGNATURE	DATE _ / _ / _
CLIENT NAME _____ SIGNATURE	DATE _ / _ / _
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CUSTOM	JOB No.
PREMIUM	
SITE LAYOUT PLAN	2 of 8
1:200	

VARIATIONS			
REV NO.	VARIATION	DRAWN	BY
1.	WORKING DRAWINGS	30/10/23	AG
2.	WINDOWS	2-2-24	DC
3.	-	-	XX
4.	-	-	XX
5.	-	-	XX
6.	-	-	XX
7.	-	-	XX
8.	-	-	XX
9.	-	-	XX
10.	-	-	XX
11.	-	-	XX

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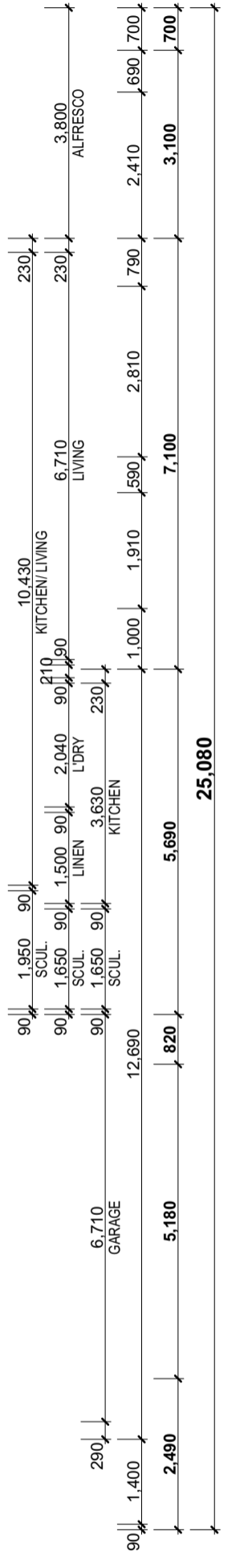
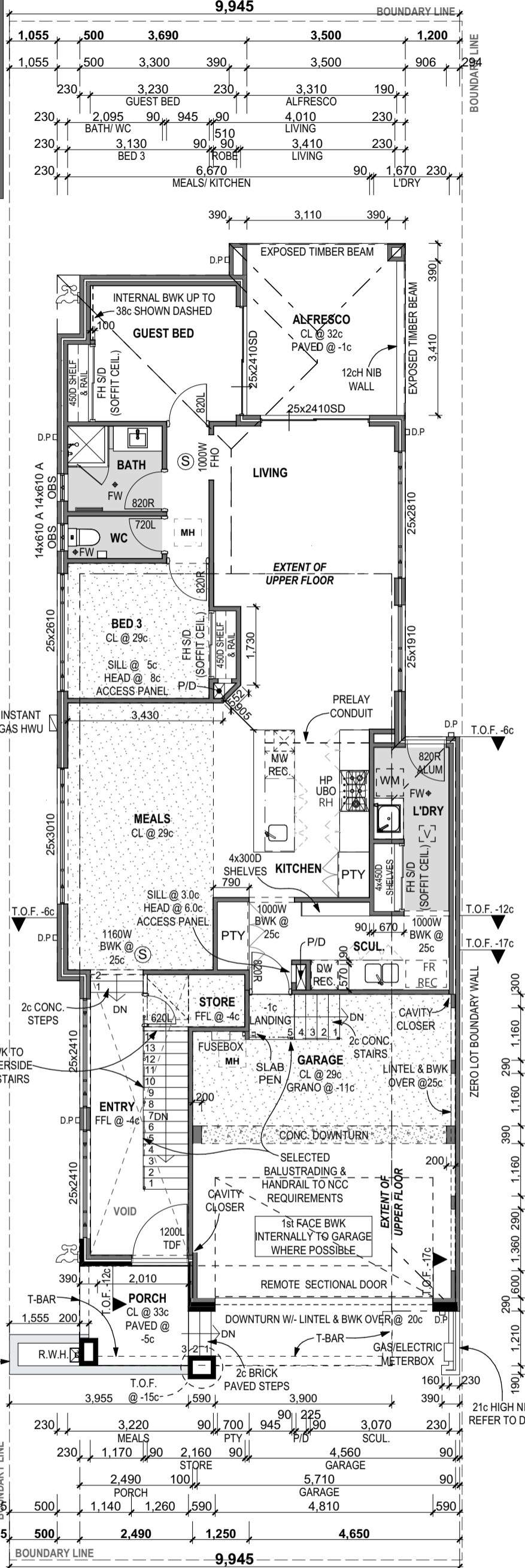
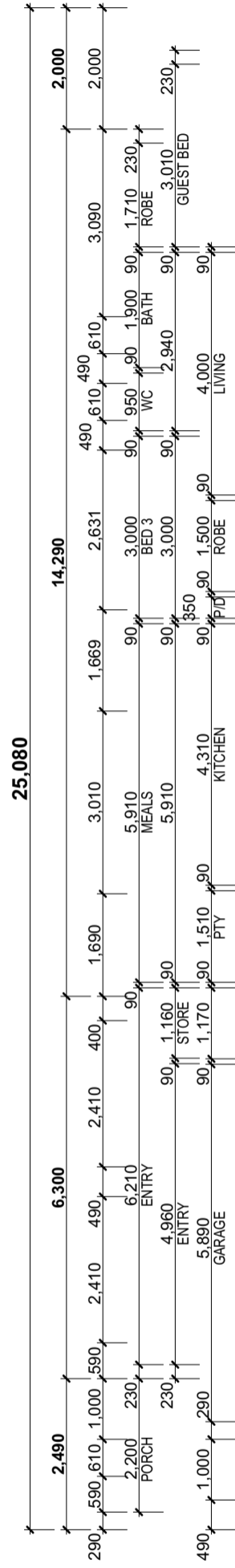


NOTES:

- RECTANGULAR DOWNPIPES - DOWNPIPE POSITION INDICATIVE ONLY - AT BUILDERS & ROOF PLUMBERS DISCRETION.
- R 4.0 FIBREGLASS BATT CEILING INSULATION TO HOUSE AREAS ONLY AND VERTICALLY WHERE REQUIRED.
- CAVITY BREACHES - BRICKLAYER TO BUILD IN CONCEALED, FULL HEIGHT FLASHING BETWEEN CAVITY CLOSER & INTERNAL LEAF.
- DRAFTSTOPPERS TO ALL EXHAUST FANS AND OR RANGEHOODS
- GRANO NOTE: 100mm SLAB REQUIRED
- CAVITY INSULATION IF APPLICABLE (REFER TO ENERGY REPORT).
- REFER TO ENGINEERS PLANS AND ADDENDA
- UPPER FLOOR OPENABLE WINDOWS MUST HAVE MAX 125mm RESTRICTED OPENING OR FITTED WITH SUITABLE SCREEN (IF OPENING SILL IS UNDER 1700AFL).

NOTES:

- **COLORBOND ROOF @ 25DEG U.N.O.**
- **EXTERNAL WALLS** CONSIST OF 230 WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF
- ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
- 3c SUSPENDED SLAB TO UPPER FLOOR (U.N.O). REFER TO ENGINEERS DETAILS.
- ALL SUB-CONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCRESSIONS TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- ALL DIMENSIONS ARE TO RAW BRICKWORK.
- LIFT OFF HINGES TO ROOMS WITH ENCLOSED TOILETS
- **32c CEILINGS TO GROUND FLOOR & 32c CEILINGS TO UPPER FLOOR UNLESS NOTED OTHERWISE**



RENDERED PLANTED BOX (PARGED INTERNALLY) FROM -12c UP TO -3c

21c HIGH NIB WALL REFER TO DETAIL 'X'

AREAS & PERIMETERS:		
Area Names	Area	Perimeters
Porch Area	5.3	9.2
Alfresco Area	13.6	15.4
Balcony Area	15.2	18.2
Garage Area	40.4	26.0
UF House Area	105.3	44.4
GF House Area	133.3	61.6
	313.1 m ²	
UF ROOF AREA	127.3	---
GF ROOF AREA	77.0	---
	204.3 m ²	



SITE ADDRESS
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CITY/ SHIRE OF
JOONDALUP

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CUSTOM

JOB No. _____

PREMIUM

GROUND FLOOR PLAN

1:100 3 of 8

VARIATIONS			
REV NO.	VARIATION	DRAWN	BY
1.	WORKING DRAWINGS	30/10/23	AG
2.	WINDOWS	2-2-24	DC
3.	-	-	XX
4.	-	-	XX
5.	-	-	XX
6.	-	-	XX
7.	-	-	XX
8.	-	-	XX
9.	-	-	XX
10.	-	-	XX
11.	-	-	XX

SK2
SK3

SKETCH NOTES

32c CEILINGS THROUGHOUT TO GROUND FLOOR WITH 32c CEILINGS TO UPPER FLOOR
EXTRA NOTES

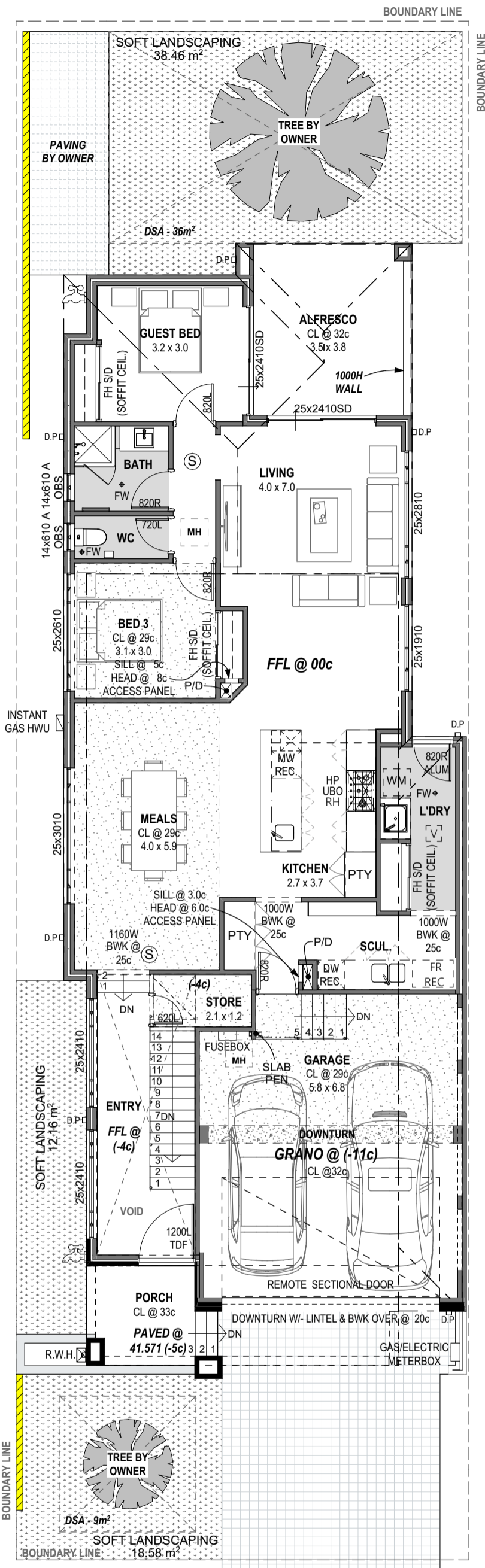
POSSIBLE RETAINING WALLS TBC

SHOWN AS

DESIGN NOTES

- CLIENT IS AWARE THAT THE DESIGN IS SUBJECT TO APPROVALS AND TIME DELAYS MAY BE INCURRED
- **PLANNING ITEMS**
- BOUNDARY WALL LENGTH
- OVERLOOKING
- CUT & FILL (TBC)
- RETAINING WALL HEIGHT (TBC)
- OVERSHADOWING (TBC)
- SCULLERY DOESN'T HAVE OPERABLE WINDOWS
- WALL HEIGHT/ SETBACKS (TBC)

OUTDOOR LIVING AREA	
	Area
Total OLA Area	68.5
Uncovered OLA Area	55.0



SOFT LANDSCAPING

REQUIRED = 68m²
ACHIEVED = 69.20m²

SHOWN AS

AREAS & PERIMETERS:		
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CLIENT NAME: _____ DATE: ____/____/____

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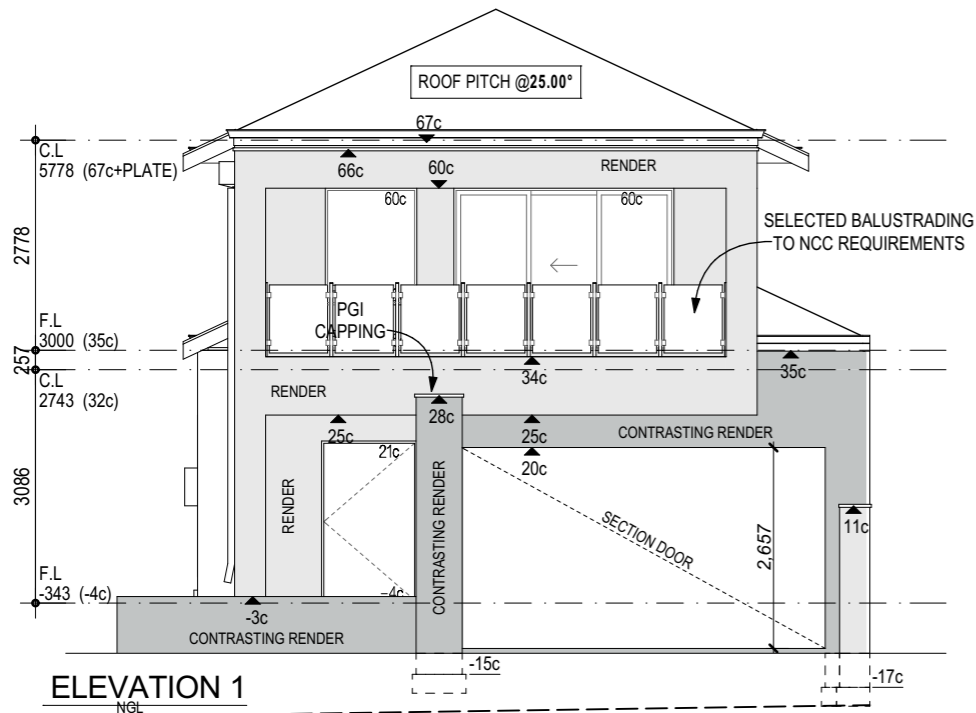
PREMIUM

GF SKETCH PLAN

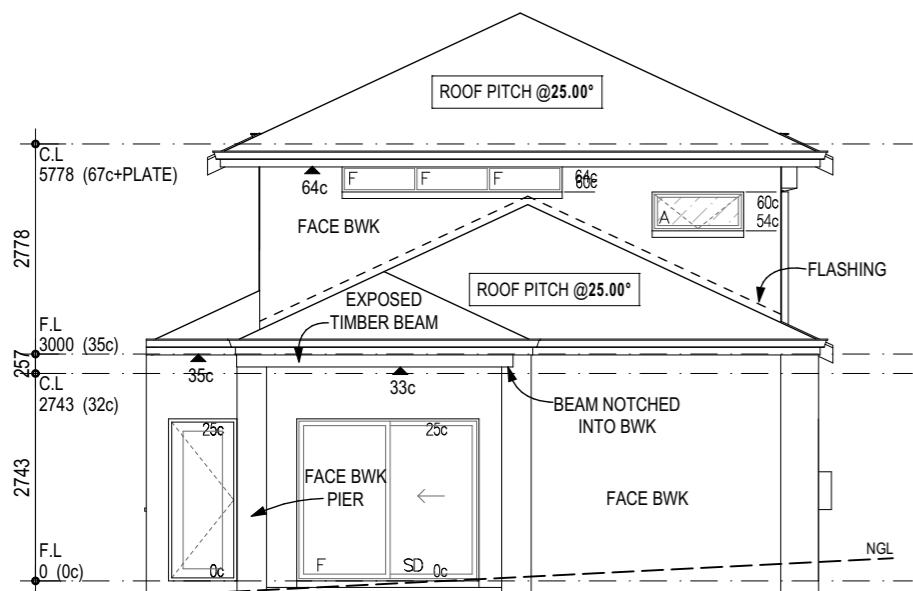
1:100 7 of 8

VARIATIONS			
REV NO.	VARIATION	DRAWN	BY
1.	WORKING DRAWINGS	30/10/23	AG
2.	WINDOWS	2-2-24	DC
3.	-	-	XX
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7.	-	-	XX
8.	-	-	XX
9.	-	-	XX
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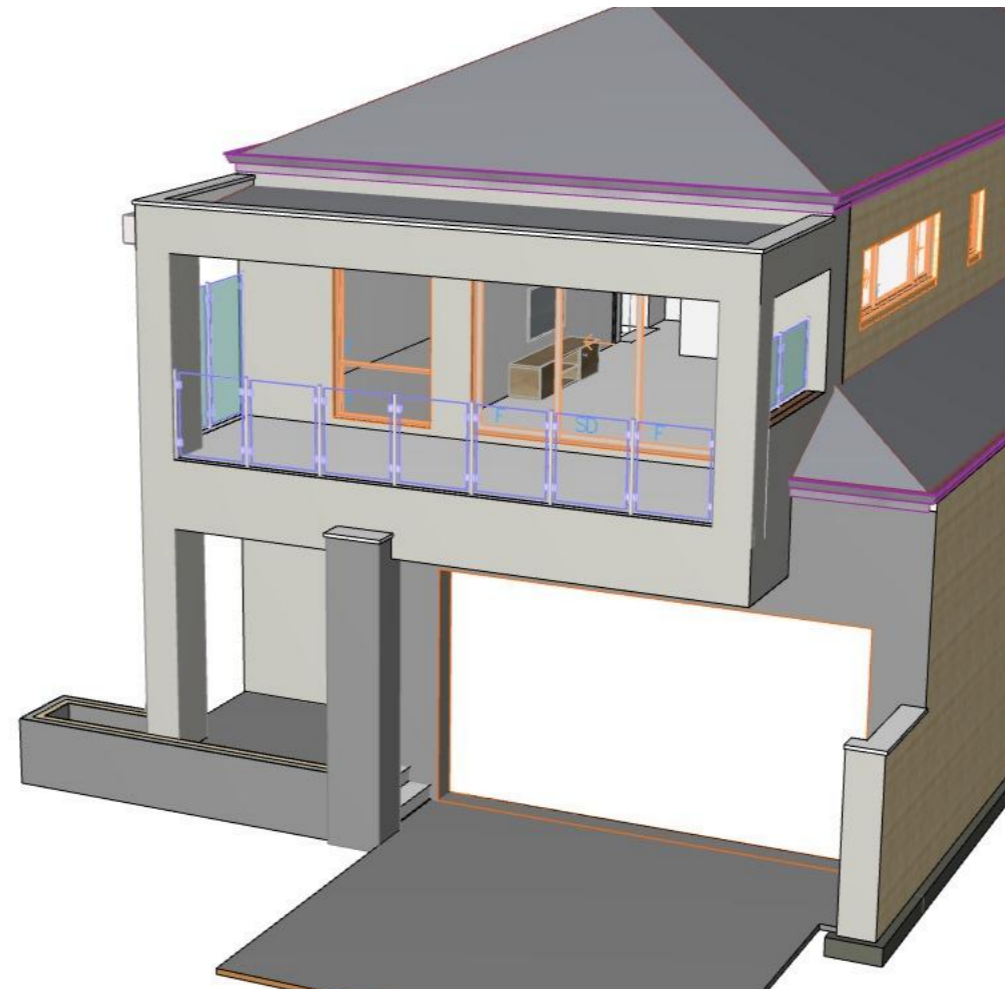
SK4
SK1



ELEVATION 1



ELEVATION 2

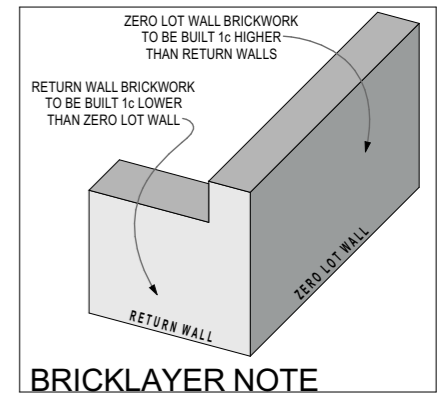


NOTES:

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BRICKLAYER NOTE



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#17 MELISSA STREET, DUNCRAIG

CITY/ SHIRE OF
JOONDALUP

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SIGNATURE

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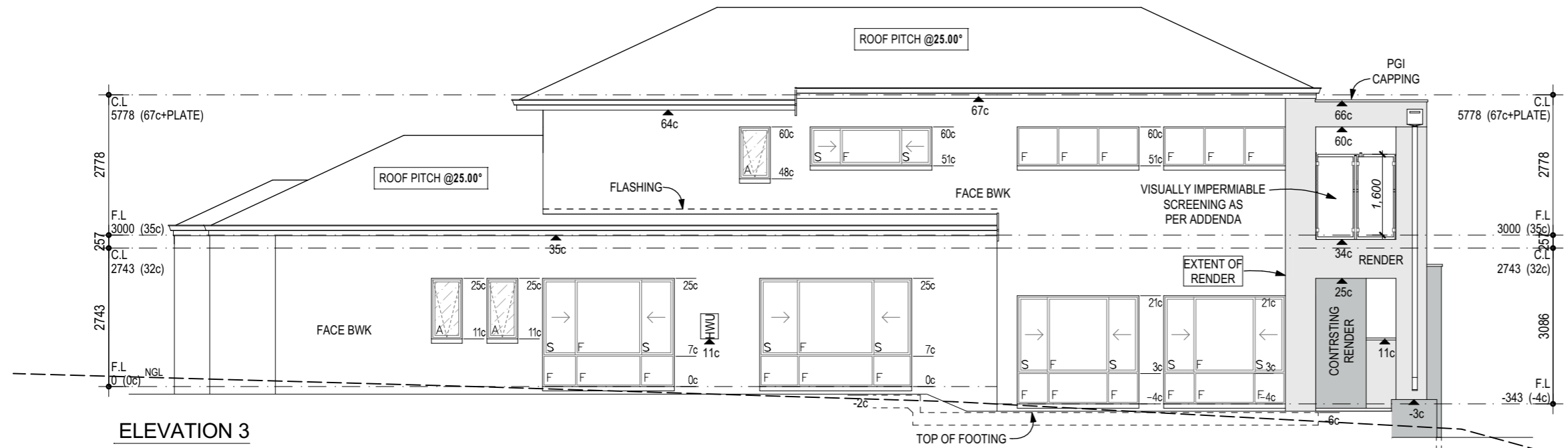
PREMIUM

ELEVATIONS

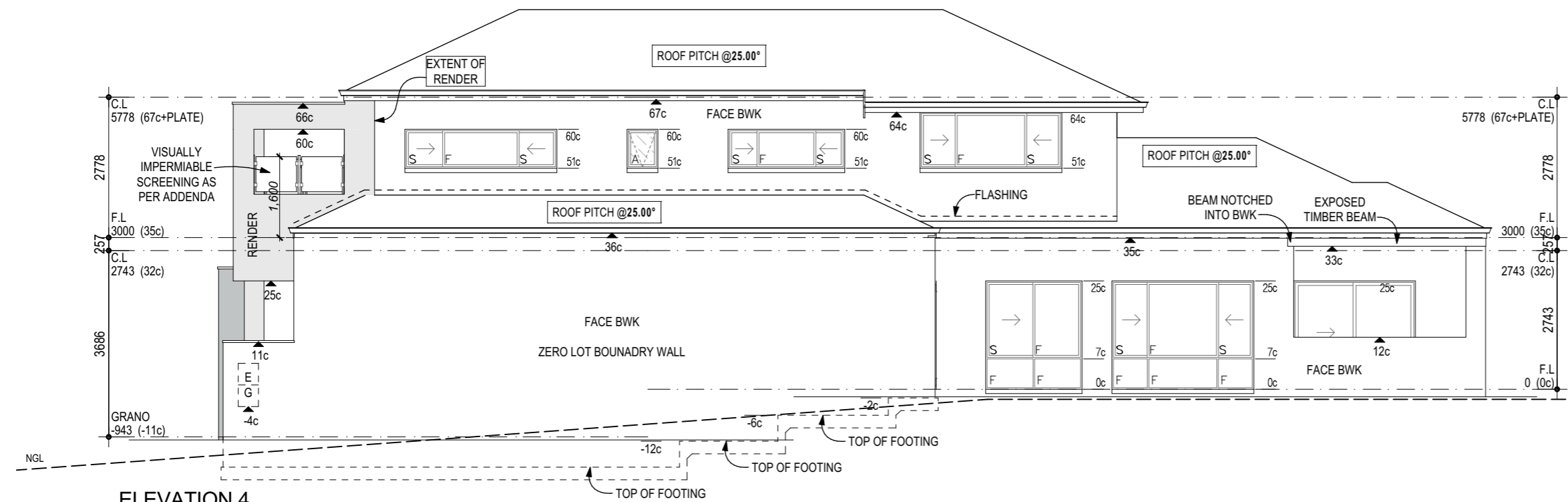
1:100 5 of 8

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ELEVATION 3



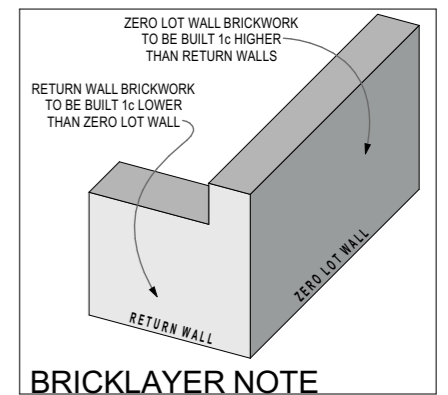
ELEVATION 4

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BRICKLAYER NOTE



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CLIENT NAME _____	DATE _ / _ / _
<i>SIGNATURE</i>	
CLIENT NAME _____	DATE _ / _ / _
<i>SIGNATURE</i>	
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CUSTOM	JOB No.
PREMIUM	
ELEVATIONS	6 of 8
1:100	

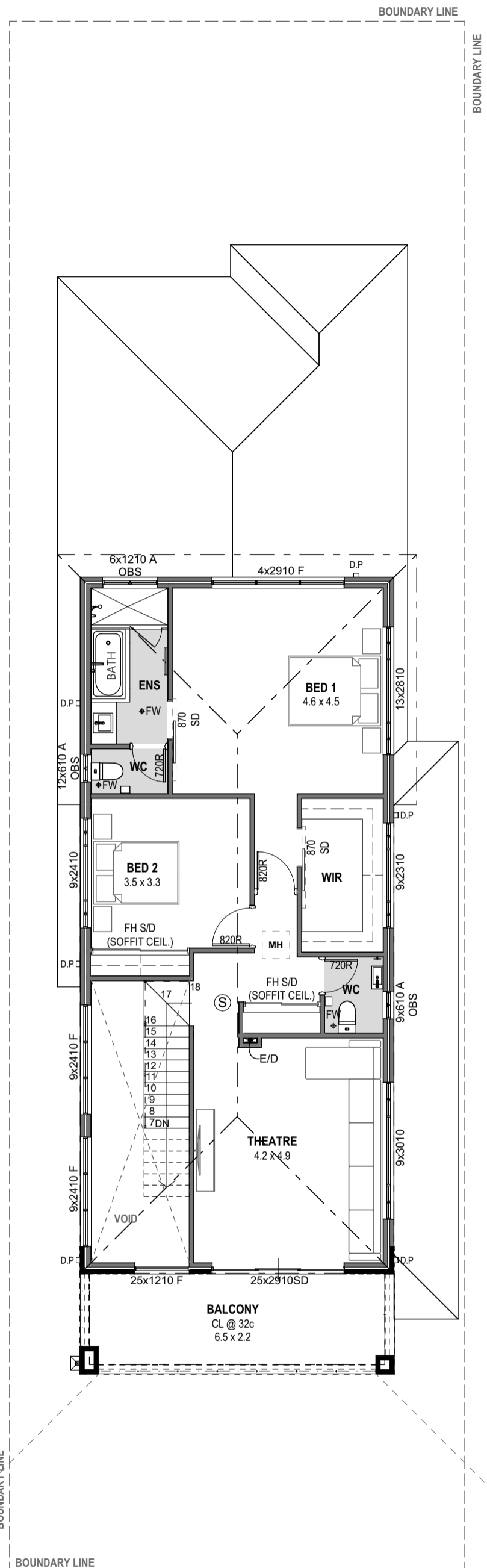
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9.	-	-	XX
10.	-	-	XX
11.	-	-	XX

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SK2
SK3

SKETCH NOTES

32c CEILINGS THROUGHOUT TO GROUND
FLOOR WITH 32c CEILINGS TO UPPER FLOOR
EXTRA NOTES



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JOB No. _____

PREMIUM

UF SKETCH PLAN

1:100

8 of 8

VARIATIONS

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1.	WORKING DRAWINGS	30/10/23	AG
2.	WINDOWS	2-2-24	DC
3.	-	-	XX
4.	-	-	XX
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6.	-	-	XX
7.	-	-	XX
8.	-	-	XX
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10.	-	-	XX
11.	-	-	XX