

LOT 51

720m²

SERVICE INFORMATION

AREA	ESTABLISHED
SEWERAGE	YES DEPTH
WATER	YES PRELAI D
ELECTRICAL	YES O/H
TELECOM	YES
GAS	YES
DRAFTED	DF SURVEYOR TS

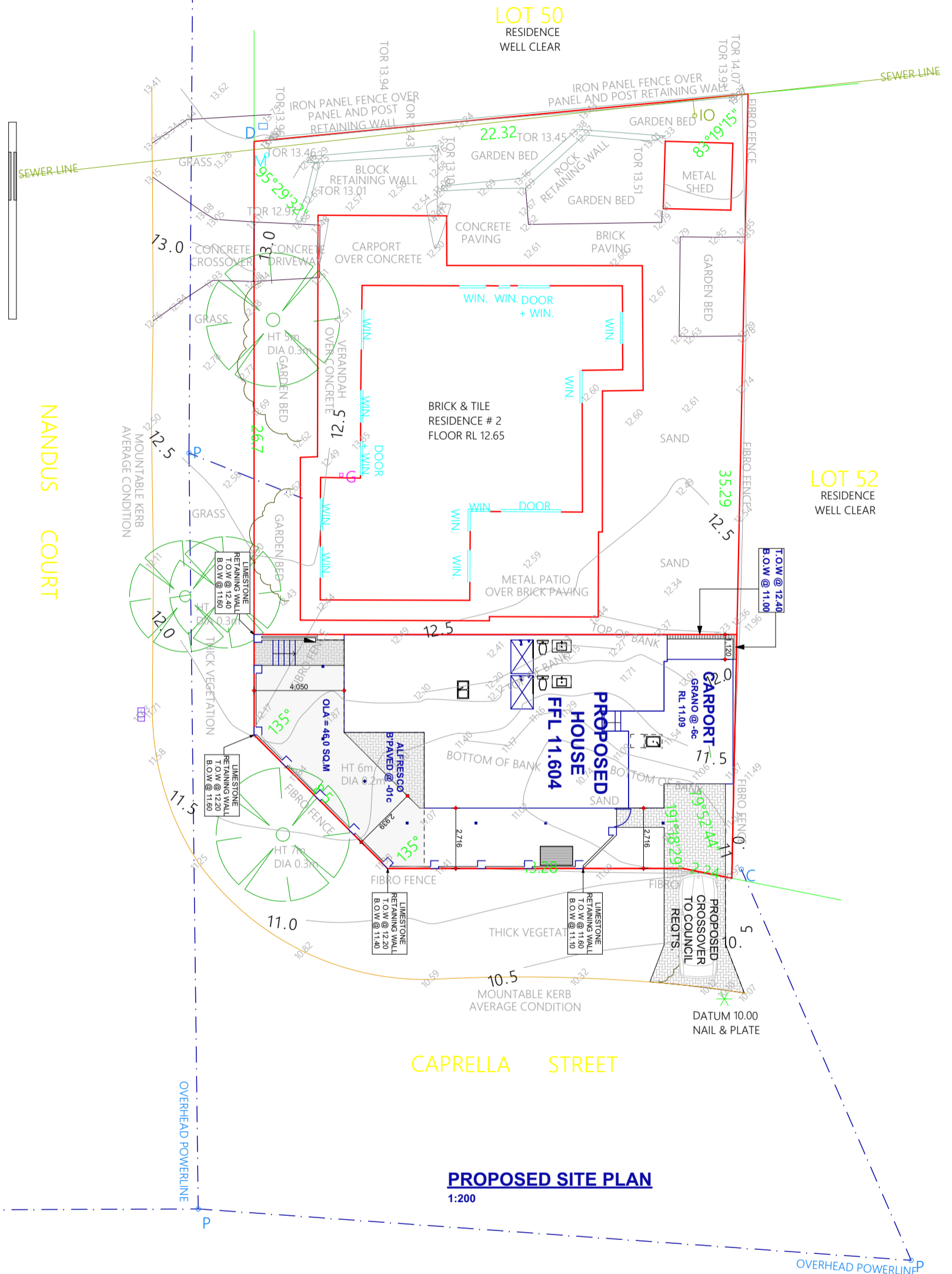
SERVICE LEGEND

SURVEY	
* DATUM	
°PF PEG FOUND	
°PG PEG GONE	
SEWERAGE	
○ SEW SEWER MANHOLE	
○ IO INSPECTION OPENING	
○ IS INSPECTION SHAFT	
WATER	
°M WATER METER	
°H HYDRANT	
°F FLUSH POINT	
°V STOP VALVE	
ELECTRICAL	
□ D POWER DOME/PILLAR	
° P POWER POLE	
° L LAMP POST	
° C CONSUMER POLE	
° A STAY WIRE ANCHOR	
STORMWATER	
□ S STORMWATER MANHOLE	
□ G GRATE	
□ E SIDE ENTRY PIT	
GAS	
° G GAS METER	
° S SERVICE VALVE	
TELECOM	
□ C COMMUNICATION PIT	
□ TMH TELSTRA MANHOLE	

SEWER CONNECTION POSITION

SEWER NOT LOCATED AT TIME OF SURVEY

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.



PROPOSED SITE PLAN
1:200

CLIENT: McCOUBRIE			
ADDRESS: LOT 51 (#2) NANDUS COURT, HEATHRIDGE			
PLAN: P14636	C/T: 1672/622	AUTHORITY: CITY OF JOONDALUP	
DATE: 03/04/2023	JOB REFERENCE: TSA3053 - FS		
H. Grid: LOCAL	Local level: 10.00	A.H.D. value derived from:	Distance from Datum:
V. Datum: AHD	A.H.D. level:		
VERSION	DATE	DESCRIPTION	APPROVED BY

MULTIPLY PROPERTY GROUP
A | SUITE 5, 2 AMBITIOUS LINK BIBRA LAKE
P | 08 9418 7529
E | info@multiplypg.com.au
W | www.multiplypropertygroup.com.au

IMPORTANT NOTES:	
1.	The information on this drawing is current at the date of survey.
2.	All services are to be confirmed with relevant authorities.
3.	This include without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
4.	Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
5.	Original lot dimensions taken from Landgate Survey Plans.
6.	Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
7.	The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
Scale:	0 5 7.5 10 15
1:200 at A3	Final plot dimensions as may vary due to requirements, government authority conditions and final field survey.

NOTES

CONCEPT SKETCH ONLY
DESIGN SUBJECT TO LOCAL
COUNCIL & DEVELOPER
APPROVAL

PLANNING REQUIRED

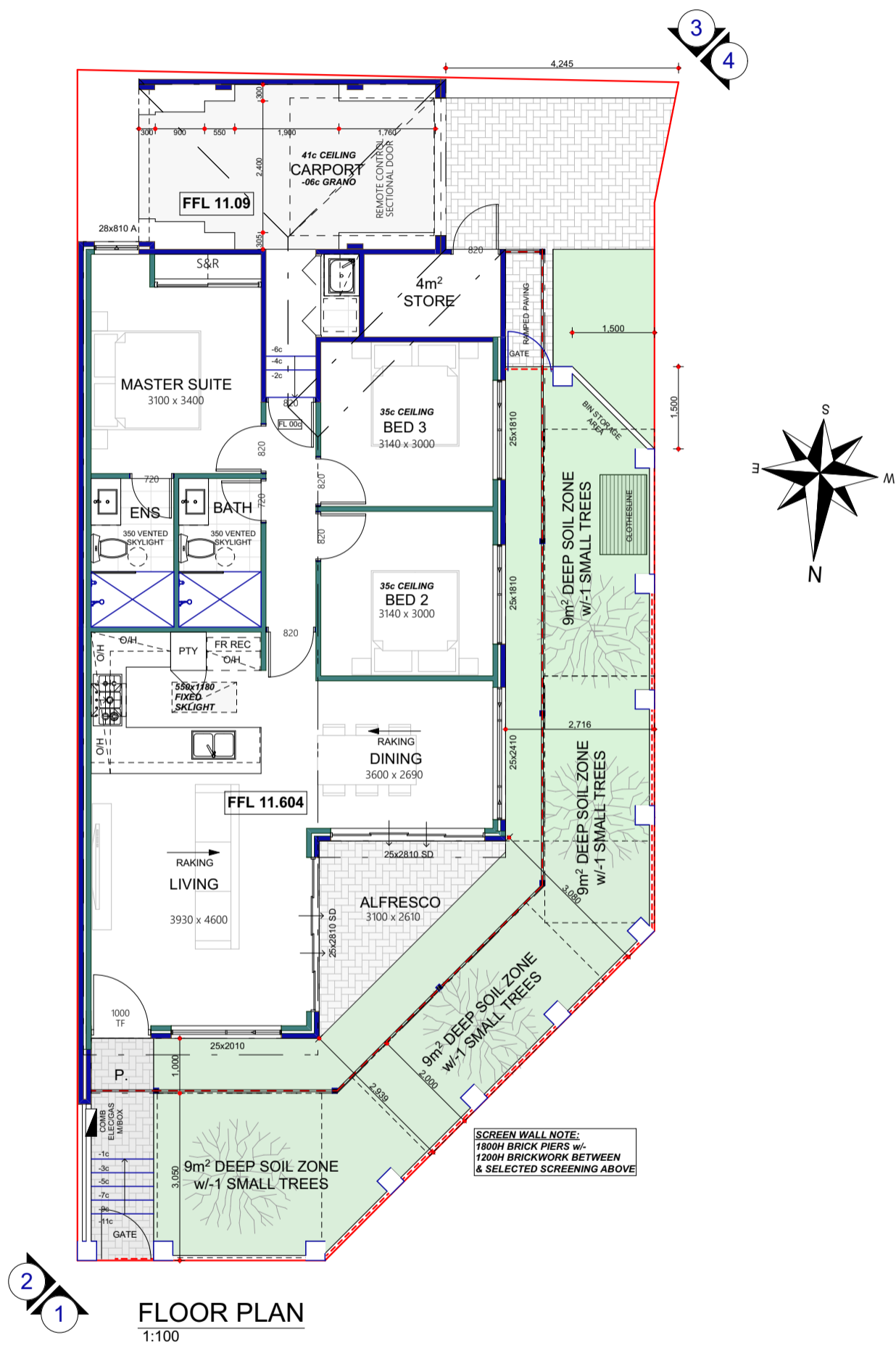
**STORMWATER
REQUIREMENTS**

SOAKWELLS	REQUIRED
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PROPOSED UNIT AREAS


HOUSE: 99.56m²
GARAGE: 21.86m²
ALFRESCO: 7.16m²

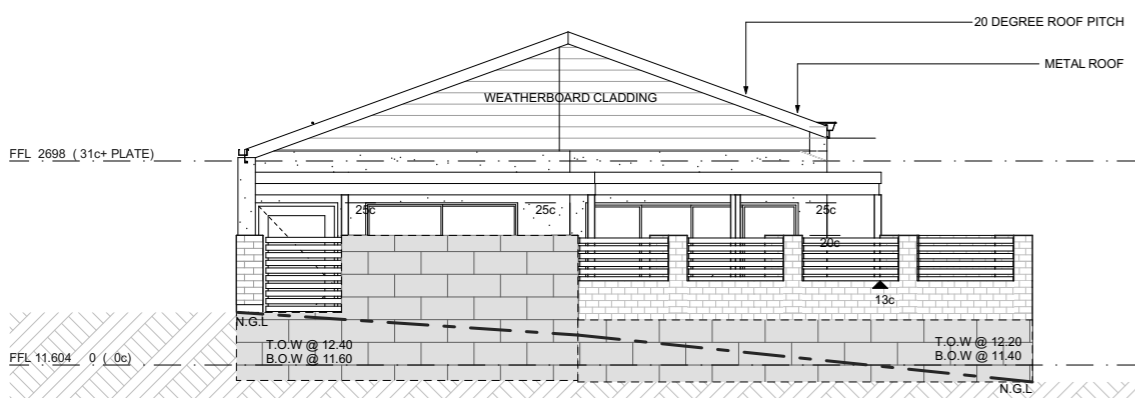
BUILT AREA: 121.42m²
SITE AREA: 21.200m²
SITE COVER:
57.27%



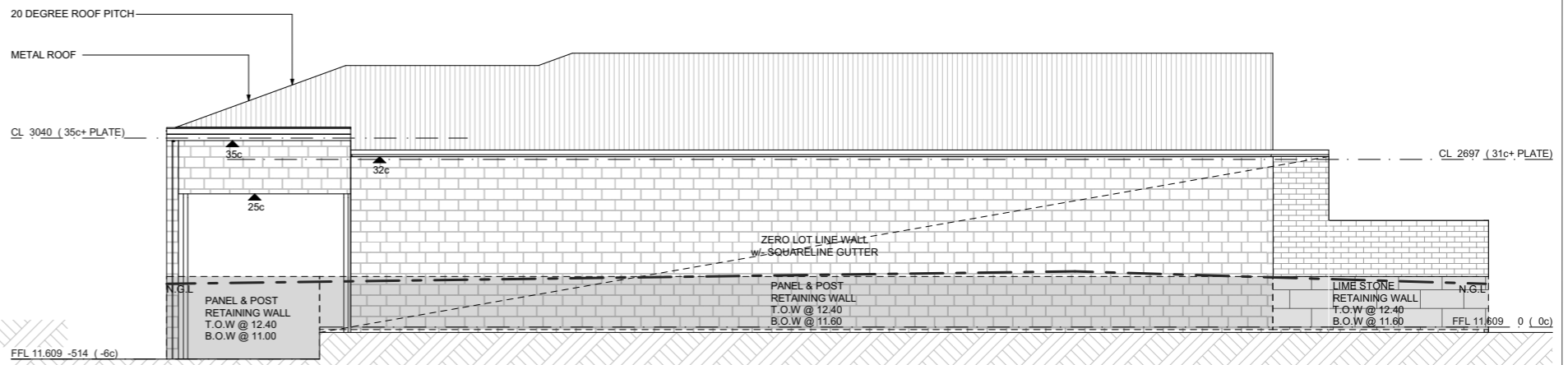
FLOOR PLAN
1:100

SCREEN WALL NOTE:
1800H BRICK PIERS w/
1200H BRICKWORK BETWEEN
& SELECTED SCREENING ABOVE

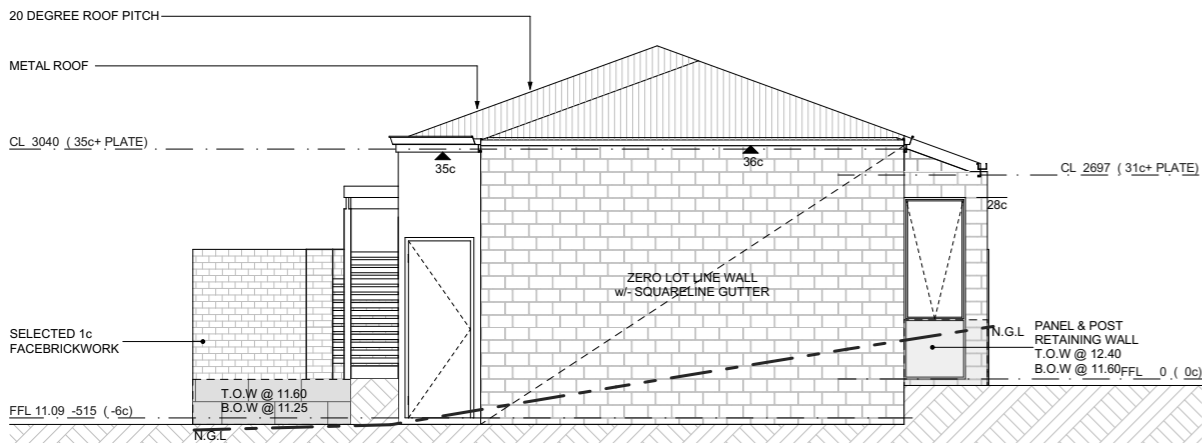
 <p>DISTINCT DESIGN & DRAFTING 26c HINDMARSH AVENUE YOKINE WA 6060 M: 0422 177 094 E: distinctdd@gmail.com W: www.distinctdesignanddrafting.com.au</p>	<table border="1"> <thead> <tr> <th>ID</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>DESIGN - V1</td> <td>JF</td> <td>14.02.24</td> </tr> <tr> <td>2</td> <td>DESIGN - V2</td> <td>JF</td> <td>21.02.24</td> </tr> <tr> <td>3</td> <td>DA DRAWINGS.2</td> <td>JF</td> <td>27.03.24</td> </tr> <tr> <td>4</td> <td>DA DRAWINGS.3</td> <td>JF</td> <td>10.04.24</td> </tr> </tbody> </table>	ID	DESCRIPTION	DRAWN	DATE	1	DESIGN - V1	JF	14.02.24	2	DESIGN - V2	JF	21.02.24	3	DA DRAWINGS.2	JF	27.03.24	4	DA DRAWINGS.3	JF	10.04.24	<p>NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN</p> <p><i>This plan is COPYRIGHT UNDER DISTINCT DESIGN & DRAFTING. Reproduction of this plan is illegal without the written permission of DISTINCT DESIGN & DRAFTING.</i></p>	<p>PROJECT NO: DD0141</p>	<p>HOUSE TYPE: INDIVIDUAL DESIGN</p>
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<p>DESIGN BY: JF</p>	<p>SHEET NO: 1 of 3</p>	<p>CLIENTS NAME: IAN DROUET</p>																						
<p>COMB ELEGAS MPOX</p>	<p>DESIGN BY: JF</p>	<p>SITE ADDRESS: LOT #51,2 NANDUS COURT, HEATHRIDGE</p>																						
<p>GATE</p>	<p>DESIGN BY: JF</p>	<p>SITE ADDRESS: LOT #51,2 NANDUS COURT, HEATHRIDGE</p>																						



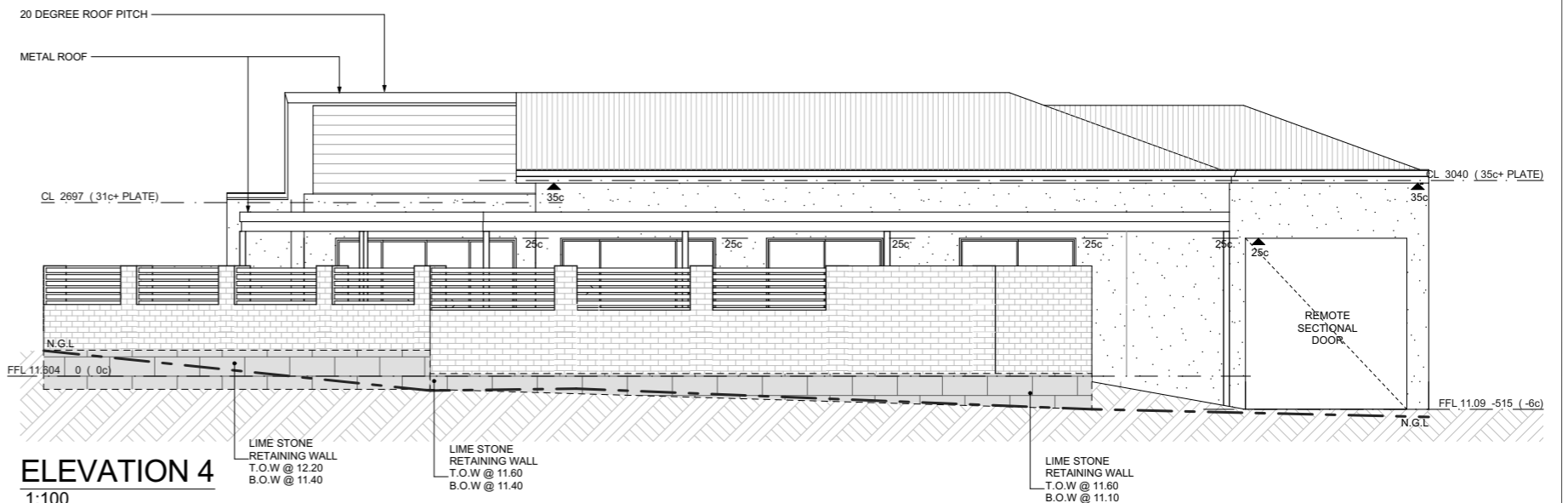
ELEVATION 1
1:100



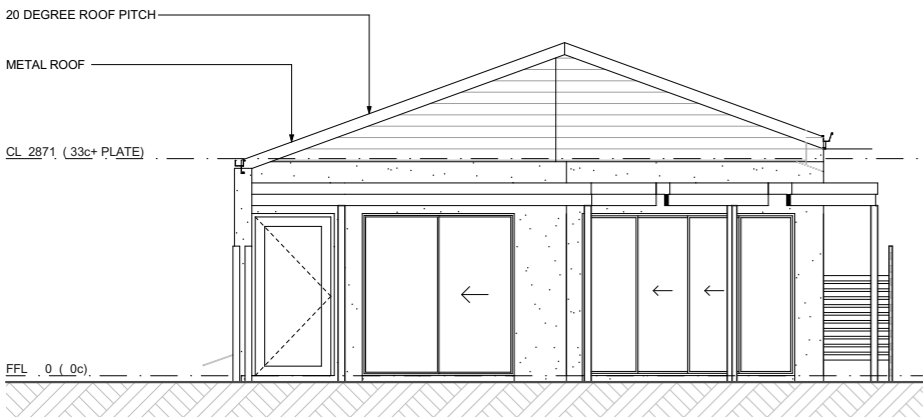
ELEVATION 2
1:100



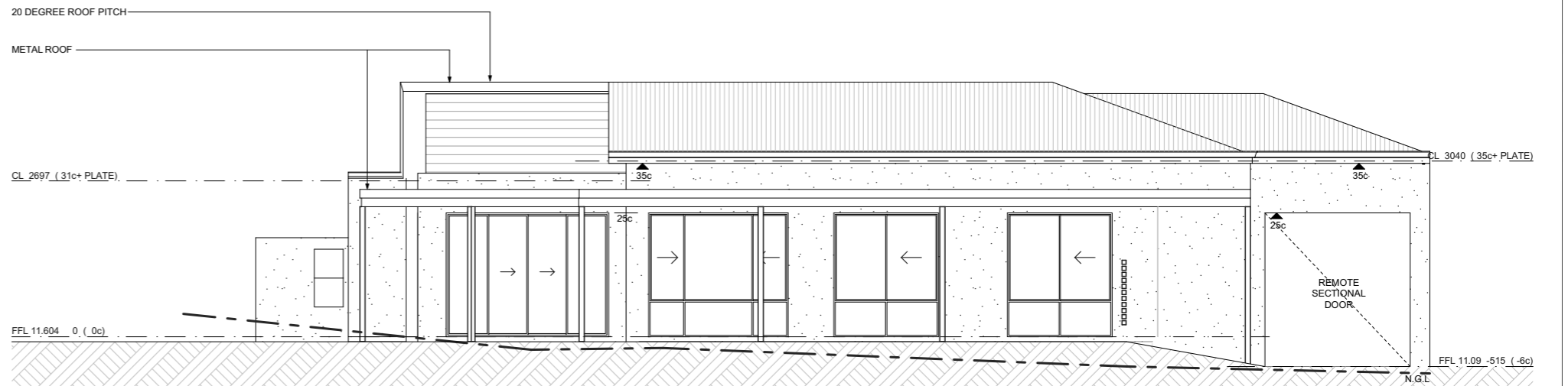
ELEVATION 3
1:100



ELEVATION 4
1:100



UNIT 1 (WINDOW VIEW)
1:100



ELEVATION 4 (WINDOW VIEW)
1:100



DISTINCT DESIGN & DRAFTING

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2	DESIGN - V2	JF	21.02.24
3	DA DRAWINGS.2	JF	27.03.24
4	DA DRAWINGS.3	JF	10.04.24

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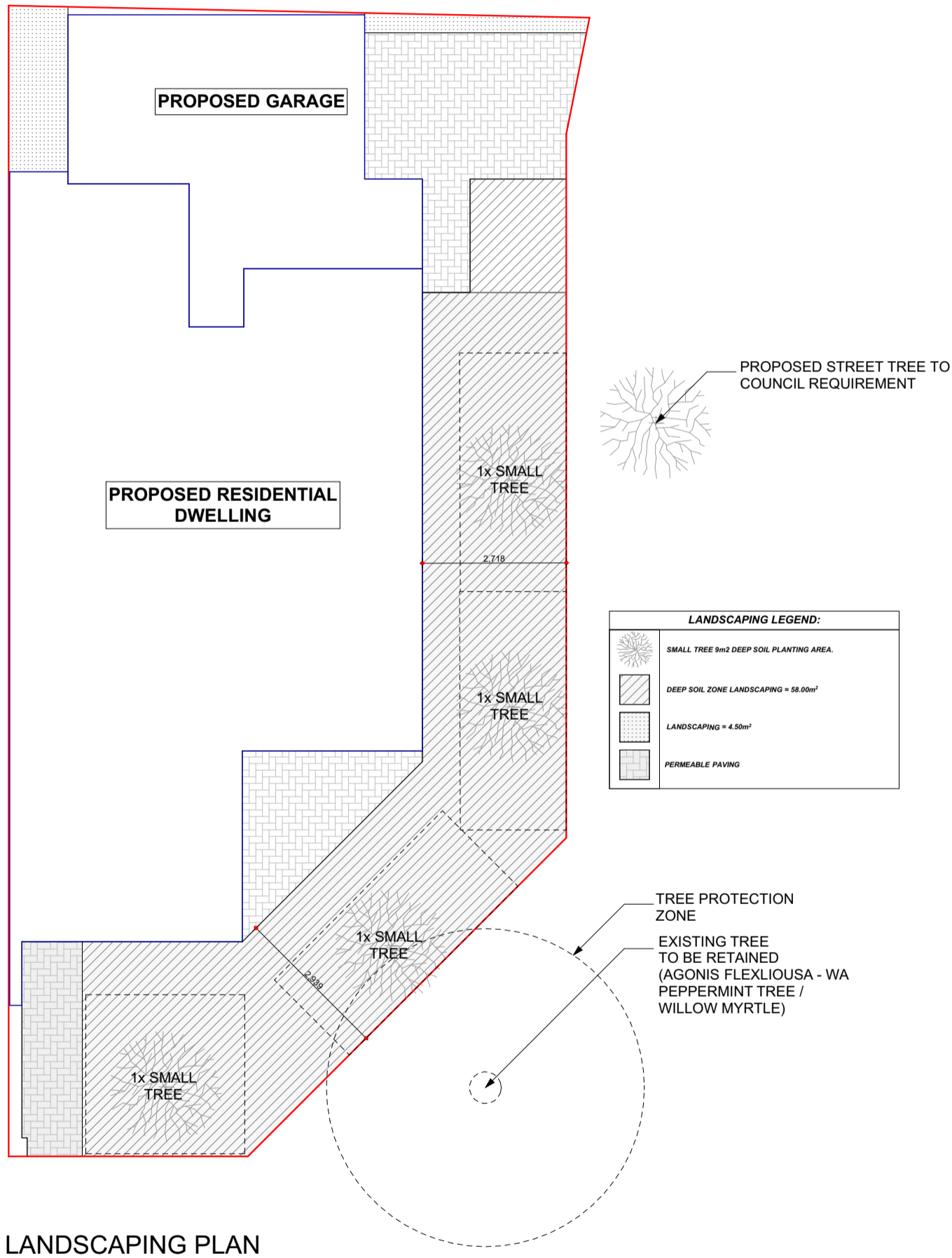
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PROJECT NO:	DD0141
SHEET NO:	2 of 3
DESIGN BY:	JF


HOUSE TYPE:
INDIVIDUAL DESIGN

CLIENTS NAME:
IAN DROUET

SITE ADDRESS:
**LOT #51,2 NANDUS COURT,
HEATHRIDGE**



LANDSCAPING PLAN
1:100

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