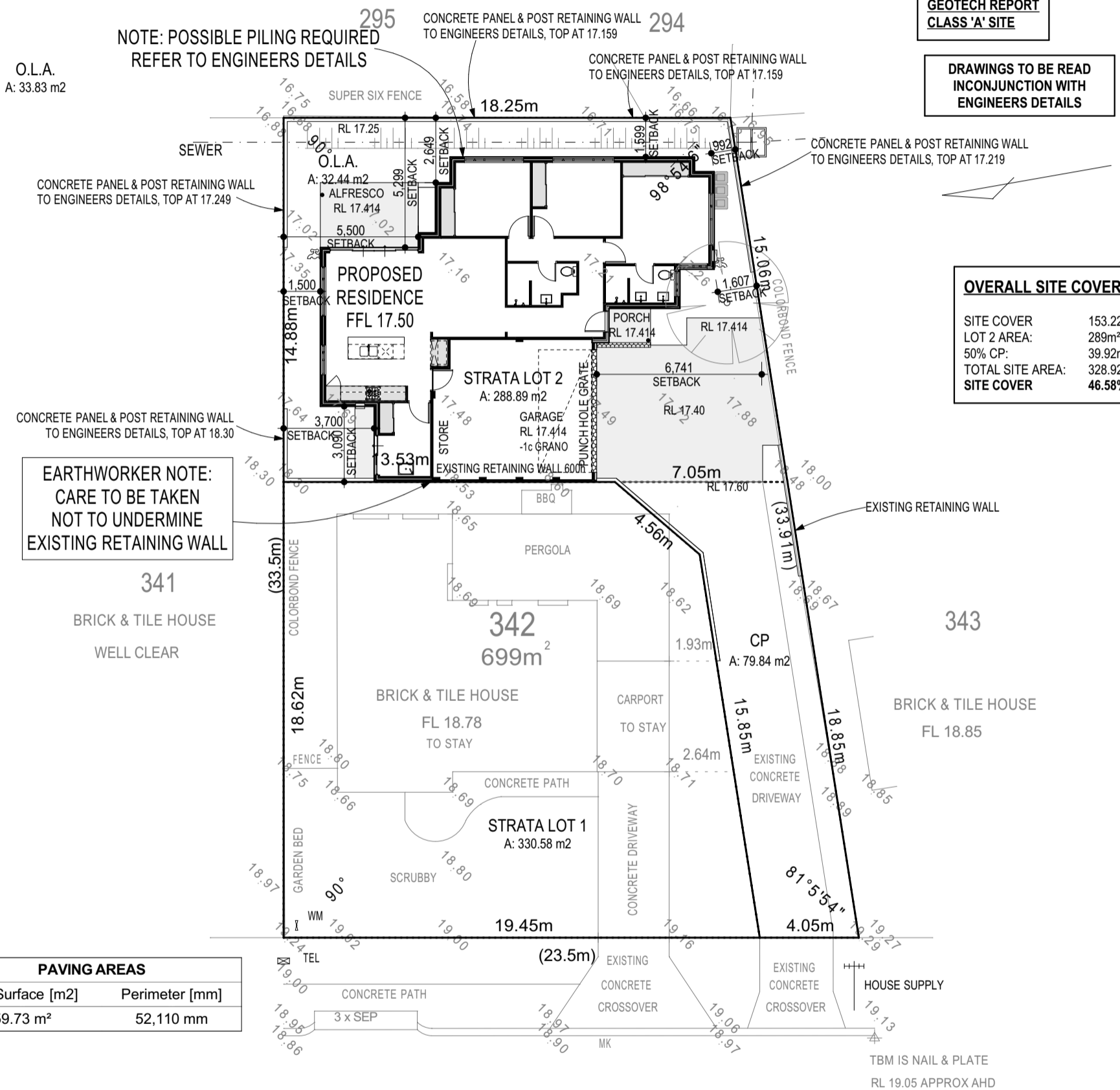


ORIG LOT 342 699m²
 PROPOSED LOT 1 331m²
 PROPOSED LOT 2 289m²

This survey does not guarantee the location of boundary pegs or fences in relation to the boundaries. It is a site survey only. For easements check Certificate of Title. Total Survey Solutions Pty Ltd accepts no responsibility for any changes to the parcel or portion thereof, shown on this survey including, but not limited to, any adjoining property levels or features that may have occurred since the date of this survey.

PROPOSED SITE PLAN

- FFL TO BE CONFIRMED WITH GEOTECH REPORT
- PILING REQUIRED AS PER ENGINEERS DETAILS
- GEOTECH REPORT CLASS 'A' SITE
- DRAWINGS TO BE READ INCONJUNCTION WITH ENGINEERS DETAILS



OVERALL SITE COVER

SITE COVER	153.22m ²
LOT 2 AREA:	289m ²
50% CP:	39.92m ²
TOTAL SITE AREA:	328.92m ²
SITE COVER	46.58%

PAVING AREAS

Top Surface [m ²]	Perimeter [mm]
59.73 m ²	52,110 mm



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DRAWN: ODD
 DATE: 12/04/2024
 REVISION: DA-3

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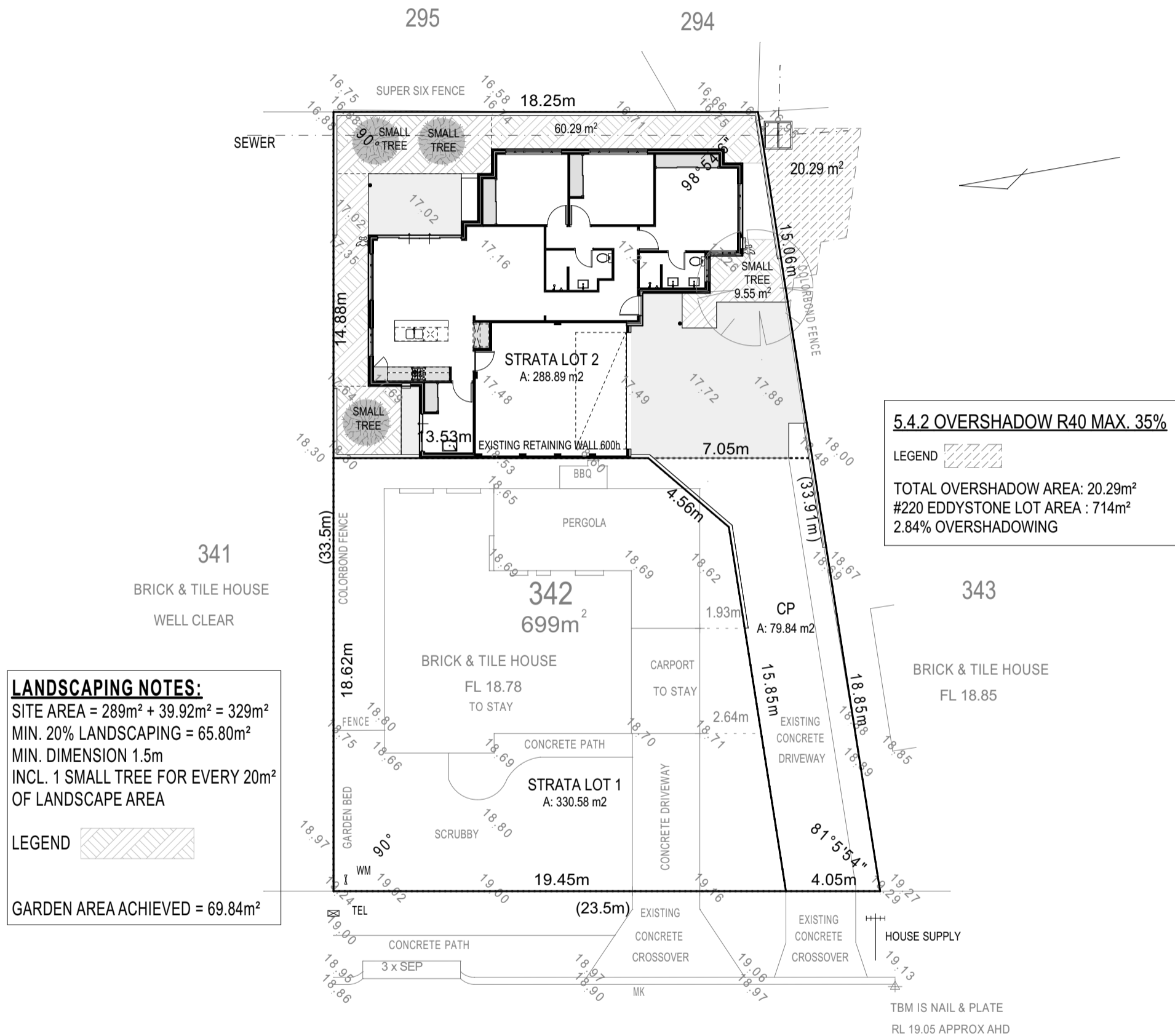
○ THIS SURVEY IS FOR PLANNING PURPOSES ONLY.

PROPOSED SURVEY STRATA SUBDIVISION		PREPARED BY:
222 EDDYSTONE AVENUE BELDON LOT 342 PLAN 16327 C/T 1808/538 CLIENT: LOCAL AUTHORITY: JOONDALUP		TOTAL SURVEY SOLUTIONS PTY LTD 10 GARROW COURT KINGSLEY WA 6026 P 9309 2042 F 9409 5882
NOTE: ALL AREAS AND DIMENSIONS ARE SUBJECT TO PLANNING APPROVAL AND FINAL SURVEY		SCALE : 1:200@A3 MY REF: 17/084 DATE : 23/3/17 DRAFTED : LM

ORIG LOT 342 699m²
 PROPOSED LOT 1 331m²
 PROPOSED LOT 2 289m²

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LANDSCAPE & OVERSHADOW SITE PLAN



LANDSCAPING NOTES:
 SITE AREA = 289m² + 39.92m² = 329m²
 MIN. 20% LANDSCAPING = 65.80m²
 MIN. DIMENSION 1.5m
 INCL. 1 SMALL TREE FOR EVERY 20m² OF LANDSCAPE AREA

LEGEND

GARDEN AREA ACHIEVED = 69.84m²

5.4.2 OVERSHADOW R40 MAX. 35%

LEGEND

TOTAL OVERSHADOW AREA: 20.29m²
 #220 EDDYSTONE LOT AREA : 714m²
 2.84% OVERSHADOWING

○ THIS SURVEY IS FOR PLANNING PURPOSES ONLY.

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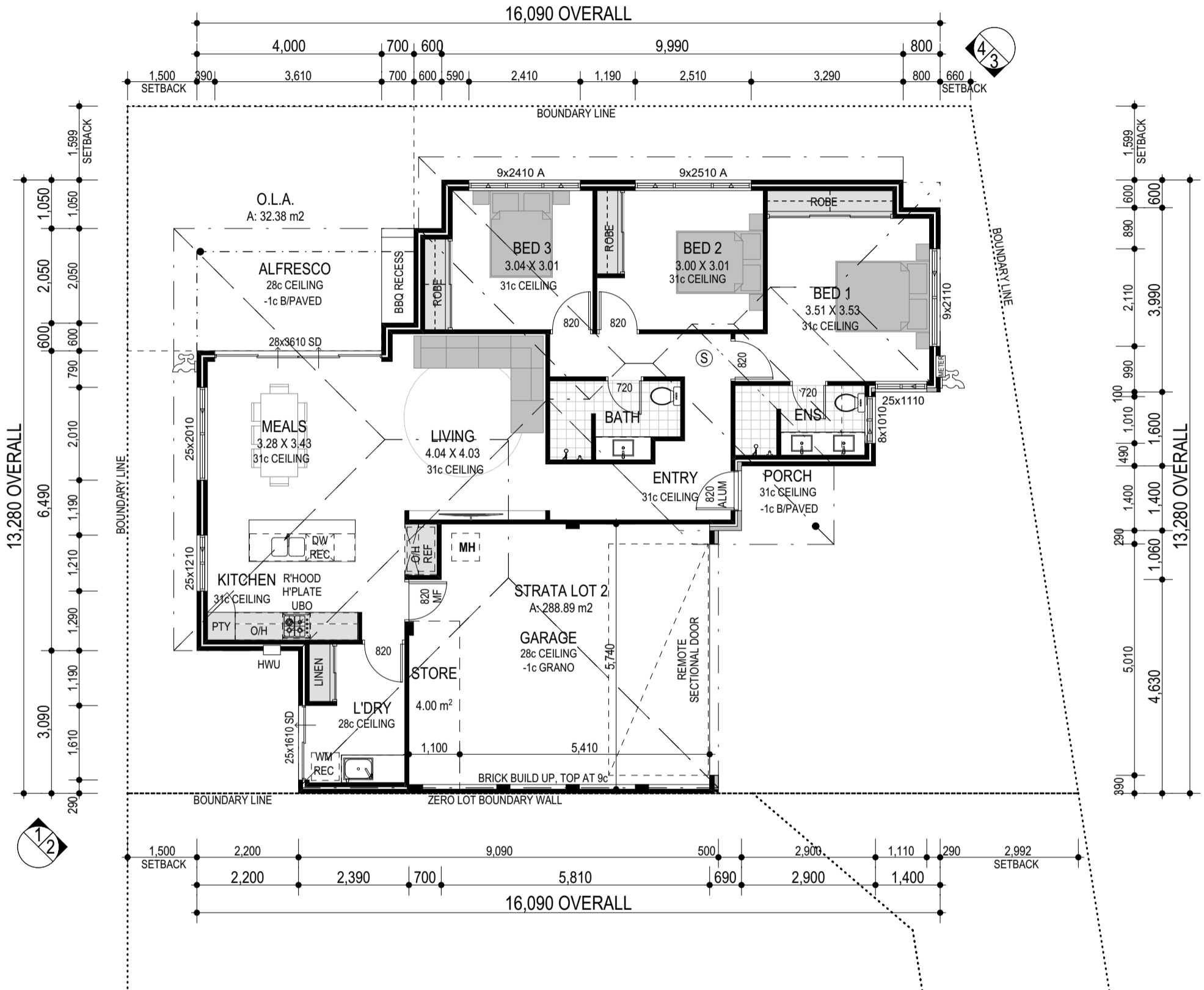
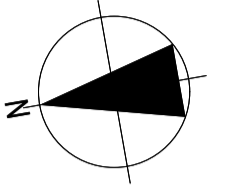
R20/40
 CITY OF JOONDALUP
 SHEET No. 3 of 5

PROPOSED SURVEY STRATA SUBDIVISION		PREPARED BY:
222 EDDYSTONE AVENUE BELDON LOT 342 PLAN 16327 C/T 1808/538 CLIENT: LOCAL AUTHORITY: JOONDALUP		TOTAL SURVEY SOLUTIONS PTY LTD 10 GARROW COURT KINGSLEY WA 6026 P 9309 2042 F 9409 5882
NOTE: ALL AREAS AND DIMENSIONS ARE SUBJECT TO PLANNING APPROVAL AND FINAL SURVEY		SCALE : 1:200@A3 MY REF: 17/084 DATE : 23/3/17 DRAFTED : LM

CLIENT NOTE:
 ALL SETBACKS SUBJECT TO SHIRE & DEVELOPERS APPROVAL.
 ALL SETBACKS AND CLEARANCES TO BE CONFIRMED WITH THE FEATURE SURVEY.
 DUE TO BCA EFFICIENCY REQUIREMENTS, AMENDMENTS MAY BE NECESSARY TO WINDOW GLASS & SIZE REQUIREMENTS AND EAVE WIDTH. THIS WILL BE ADJUSTED FOR SHIRE APPROVAL

NOTE:
 DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

NOTE:
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA



Roof Area [m2 on the flat]		198.90
AREAS - UNIT 2		
	AREA (m2)	Perimeter
UNIT 2	115.03	59,020
GARAGE	38.19	25,060
ALFRESCO	12.03	14,700
PORCH	2.38	6,200
	167.63 m²	104,980 mm

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CLIENT: BW RESIDENTIAL
ADDRESS: LOT 2 (#222A)
 EDDYSTONE AVENUE
 BELDON

JOB #: 2024 008
DRAWN: ODD
DATE: 12/04/2024
REVISION: DA-3



R20/40
 CITY OF JOONDALUP
 SHEET No. 4 of 5
 Date Printed 12/04/2024

