

**Proposed overshadowing**  
 Adjoining property area: 463.40m<sup>2</sup>  
 Allowed overshadowing: 25% (115.85m<sup>2</sup>)  
 Proposed overshadowing: 107.15m<sup>2</sup> (23.12%)

**NOTE**  
 CLIENT TO PLANT MIN  
 2M HIGH, 2YEAR OLD TREE

**LANDSCAPING**  
 AREA OF FRONT SETBACK - 71.60m<sup>2</sup>  
 50% LANDSCAPING REQUIRED- 35.80m<sup>2</sup>  
 PROPOSED LANDSCAPING - 42.27m<sup>2</sup> (59.03%)

THE COPYRIGHT OF THIS DESIGN IS THE SOLE PROPERTY OF ABN Residential WA PTY. LTD. TRADING AS WEBB & BROWN-NEAVES AND THERE IS NO IMPLIED LICENCE FOR ITS USE FOR ANY PURPOSE BC5409 ©



WEBB & BROWN-NEAVES

ADDRESS #48 Volunteer Place OCEAN REEF  
 JOB NUMBER 18060  
 CONSULTANT Bojan Kovacic

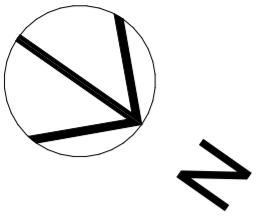
**CONCEPTS**

Concept 1	08/06/23	JD
Concept 2	28/06/23	JD
Planning	13/09/23	JD
Planning	28/11/23	JD
Planning	11/01/24	JD
Planning	25/03/24	JD

CLIENT \_\_\_\_\_

CLIENT \_\_\_\_\_

BUILDER \_\_\_\_\_



**PLANNING APPROVAL NOTES:**

IS PLANNING REQD - YES  
 IS R-CODE VARIATION REQD - YES

**NON COMPLIANCE ITEMS:**

- Overlooking from Balcony
- Overlooking from Alfresco
- UF Southern setback 1.5m in lieu 2.2m
- Meterbox nib wall within street setback area
- Sileworks above 500mm on RH boundary

**CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE**

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements, we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design maybe required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

*The client acknowledges the items listed under the non-compliance notes above.*

Client .....

Client .....

**GREEN TITLE SITE / SURVEY STRATA SITE**

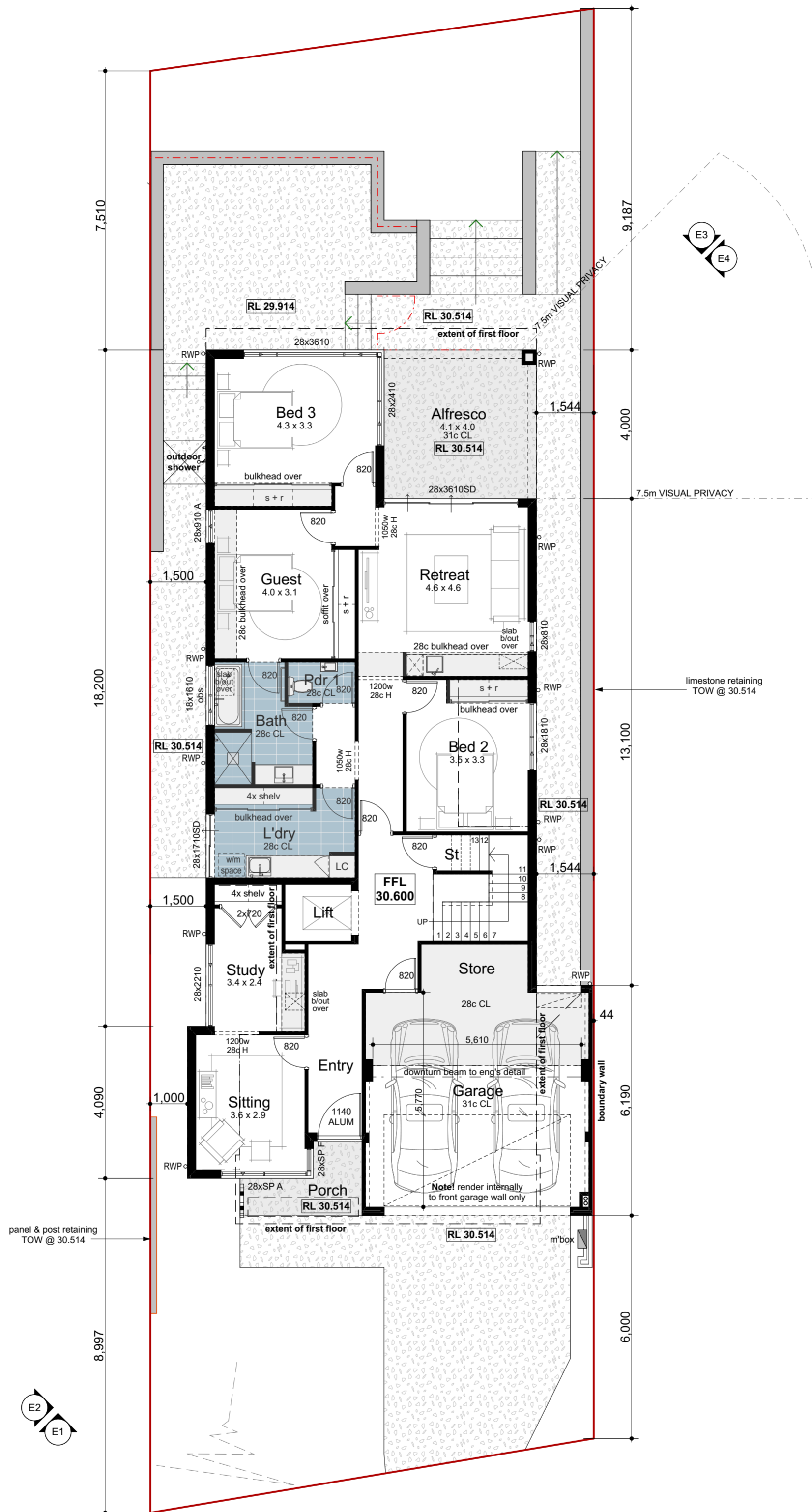
**DESIGN NOTES**

- ROOF 8° GF Roof Pitch
- 18° UF Roof Pitch
- Metal ROOF

- 31c ceilings to Ground Floor
- 31c Ceilings to Upper Floor

**SITE REQUIREMENTS**

ZONING - R20



Areas	
1 Ground Floor	155.38
2 First Floor	160.29
2 Garage	39.94
3 Alfresco	16.40
3 Balcony	31.12
3 Porch	4.60
<b>TOTAL</b>	<b>407.73 m<sup>2</sup></b>

THE COPYRIGHT OF THIS DESIGN IS THE SOLE PROPERTY OF ABN Residential WA PTY LTD. TRADING AS WEBB & BROWN-NEAVES AND THERE IS NO IMPLIED LICENCE FOR ITS USE FOR ANY PURPOSE BC5409 ©



WEBB.BROWN-NEAVES

ADDRESS #4B Volunteer Place OCEAN REEF  
 JOB NUMBER 18060  
 CONSULTANT Bojan Kovacic

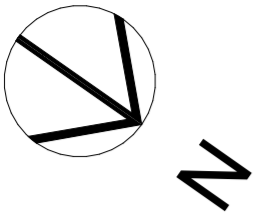
**CONCEPTS**

Concept 1	08/06/23	JD
Concept 2	28/06/23	JD
Planning	13/09/23	JD
Planning	28/11/23	JD
Planning	11/01/24	JD
Planning	25/03/24	JD

CLIENT \_\_\_\_\_

CLIENT \_\_\_\_\_

BUILDER \_\_\_\_\_



**PLANNING APPROVAL NOTES:**

IS PLANNING REQD - YES  
 IS R-CODE VARIATION REQD - YES

**NON COMPLIANCE ITEMS:**

- Overlooking from Balcony
- Overlooking from Alfresco
- UF Southern setback 1.5m in lieu 2.2m
- Meterbox nib wall within street setback area
- Sileworks above 500mm on RH boundary

**CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE**

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements, we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design may be required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

*The client acknowledges the items listed under the non-compliance notes above.*

Client .....

Client .....

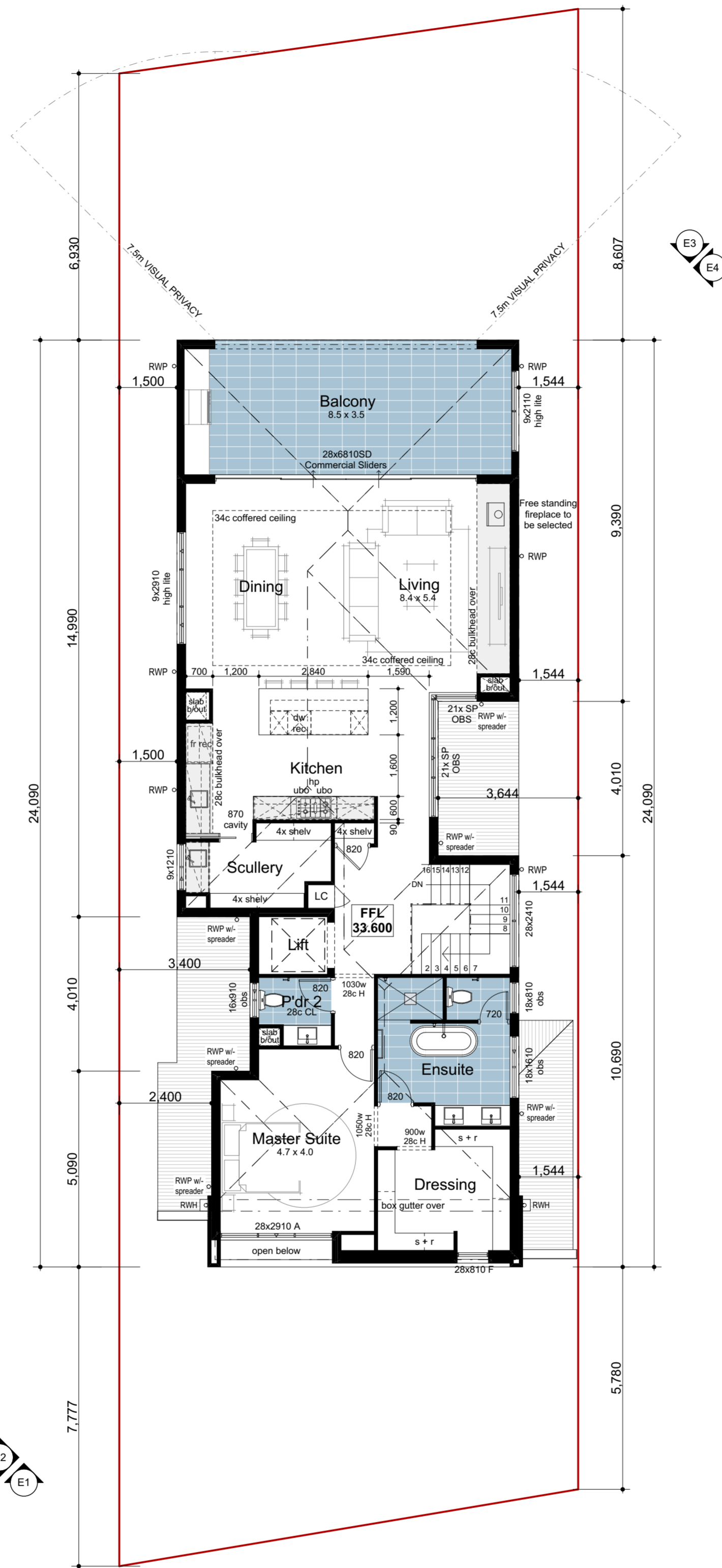
**GREEN TITLE SITE / SURVEY STRATA SITE**

**DESIGN NOTES**

- ROOF 8° GF Roof Pitch
- 18° UF Roof Pitch
- Metal ROOF

- 31c ceilings to Ground Floor
- 31c Ceilings to Upper Floor

**SITE REQUIREMENTS**



Areas	
1 Ground Floor	155.38
2 First Floor	160.29
2 Garage	39.94
3 Alfresco	16.40
3 Balcony	31.12
3 Porch	4.60
<b>TOTAL</b>	<b>407.73 m²</b>

THE COPYRIGHT OF THIS DESIGN IS THE SOLE PROPERTY OF ABN Residential WA PTY LTD. TRADING AS WEBB & BROWN-NEAVES AND THERE IS NO IMPLIED LICENCE FOR ITS USE FOR ANY PURPOSE BC5409 ©



WEBB.BROWN-NEAVES

ADDRESS #4B Volunteer Place OCEAN REEF  
 JOB NUMBER 18060  
 CONSULTANT Bojan Kovacic

**CONCEPTS**

Concept 1	08/06/23	JD
Concept 2	28/06/23	JD
Planning	13/09/23	JD
Planning	28/11/23	JD
Planning	11/01/24	JD
Planning	25/03/24	JD

CLIENT \_\_\_\_\_

CLIENT \_\_\_\_\_

BUILDER \_\_\_\_\_

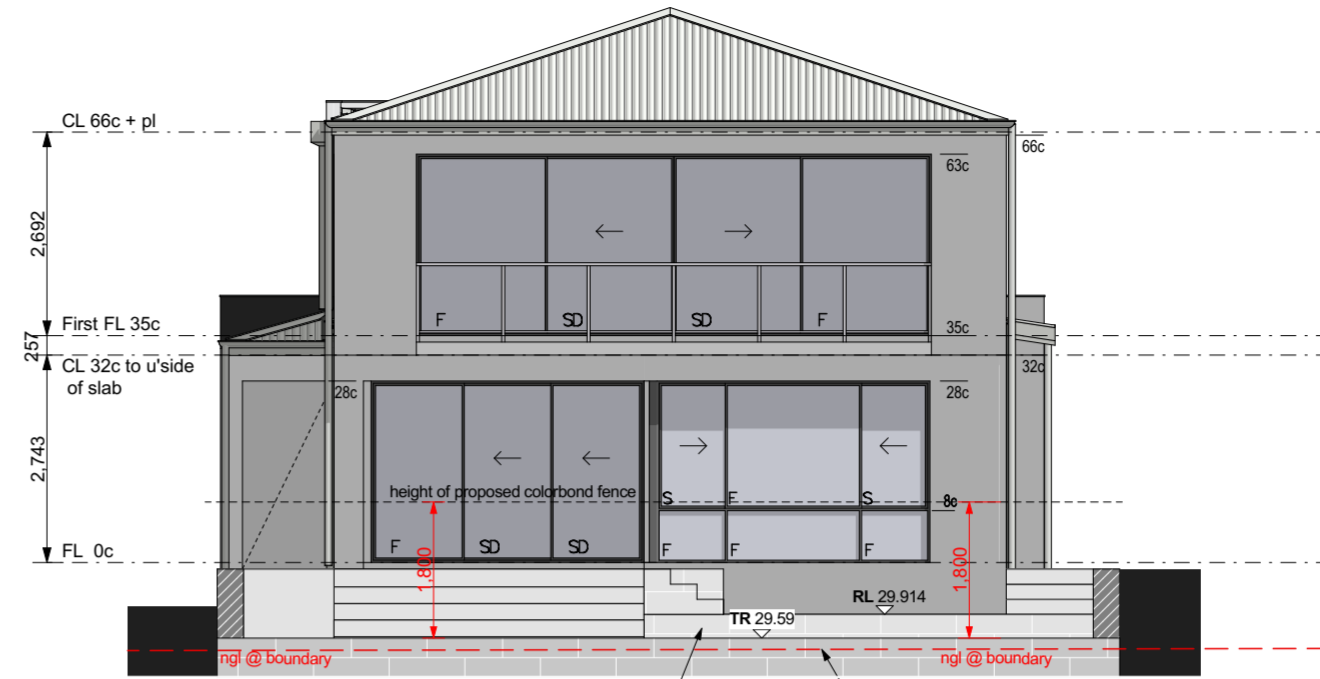
CONCEPTS

Concept 1	08/06/23	JD
Concept 2	28/06/23	JD
Planning	13/09/23	JD
Planning	28/11/23	JD
Planning	11/01/24	JD
Planning	25/03/24	JD

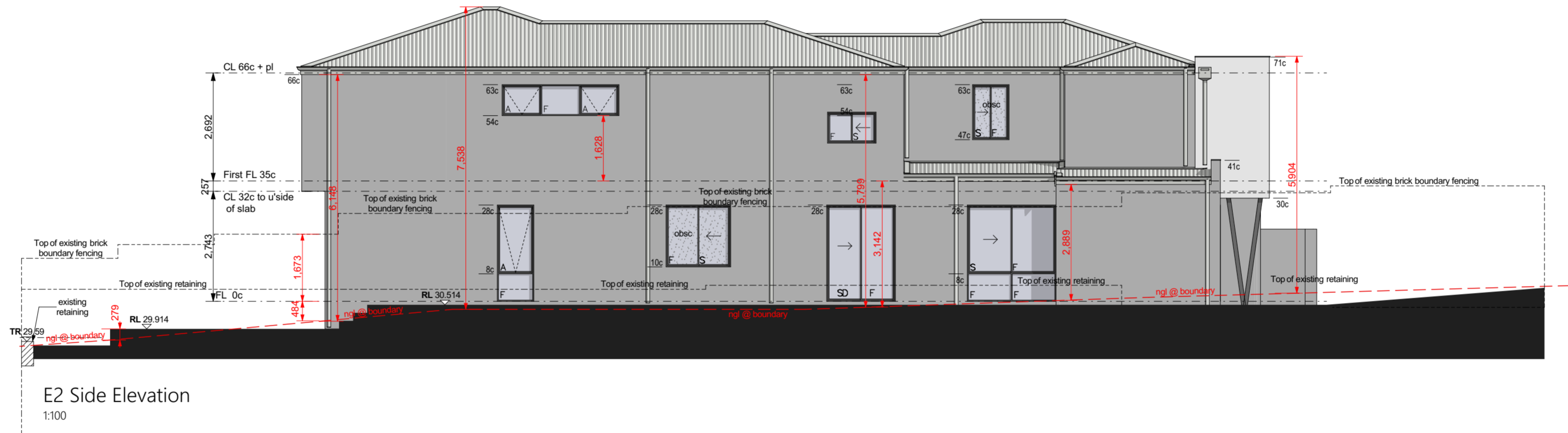
CLIENT	
CLIENT	
BUILDER	



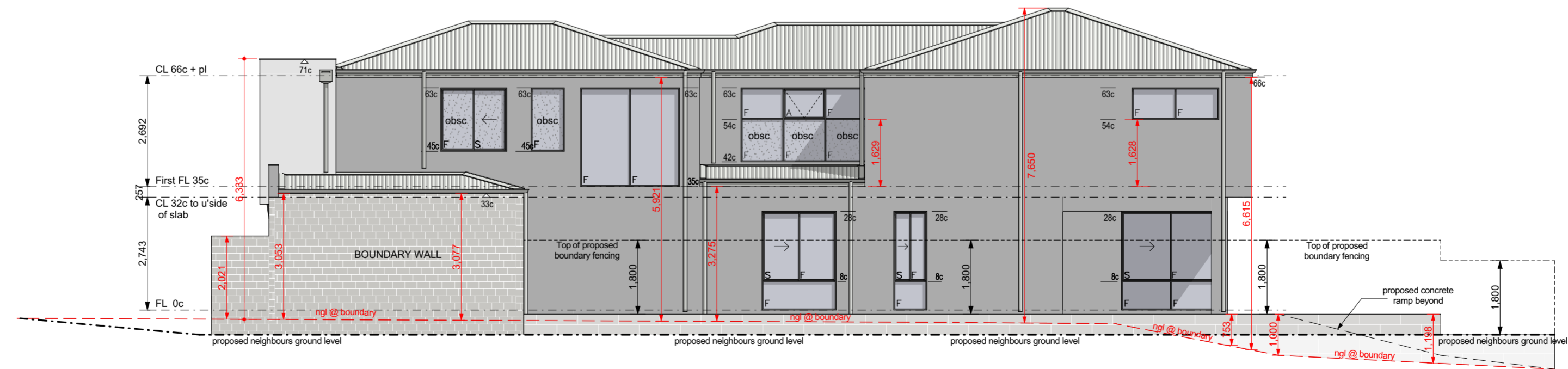
E1 Front Elevation  
1:100



E3 Rear Elevation  
1:100



E2 Side Elevation  
1:100



E4 Side Elevation  
1:100





THE COPYRIGHT OF THIS DESIGN IS THE SOLE PROPERTY OF ABN Residential WA PTY. LTD. TRADING AS WEBB & BROWN-NEAVES AND THERE IS NO IMPLIED LICENCE FOR ITS USE FOR ANY PURPOSE BC5409 ©



WEBB & BROWN-NEAVES

ADDRESS #4B Volunteer Place OCEAN REEF  
 JOB NUMBER 18060  
 CONSULTANT Bojan Kovacic

CONCEPTS

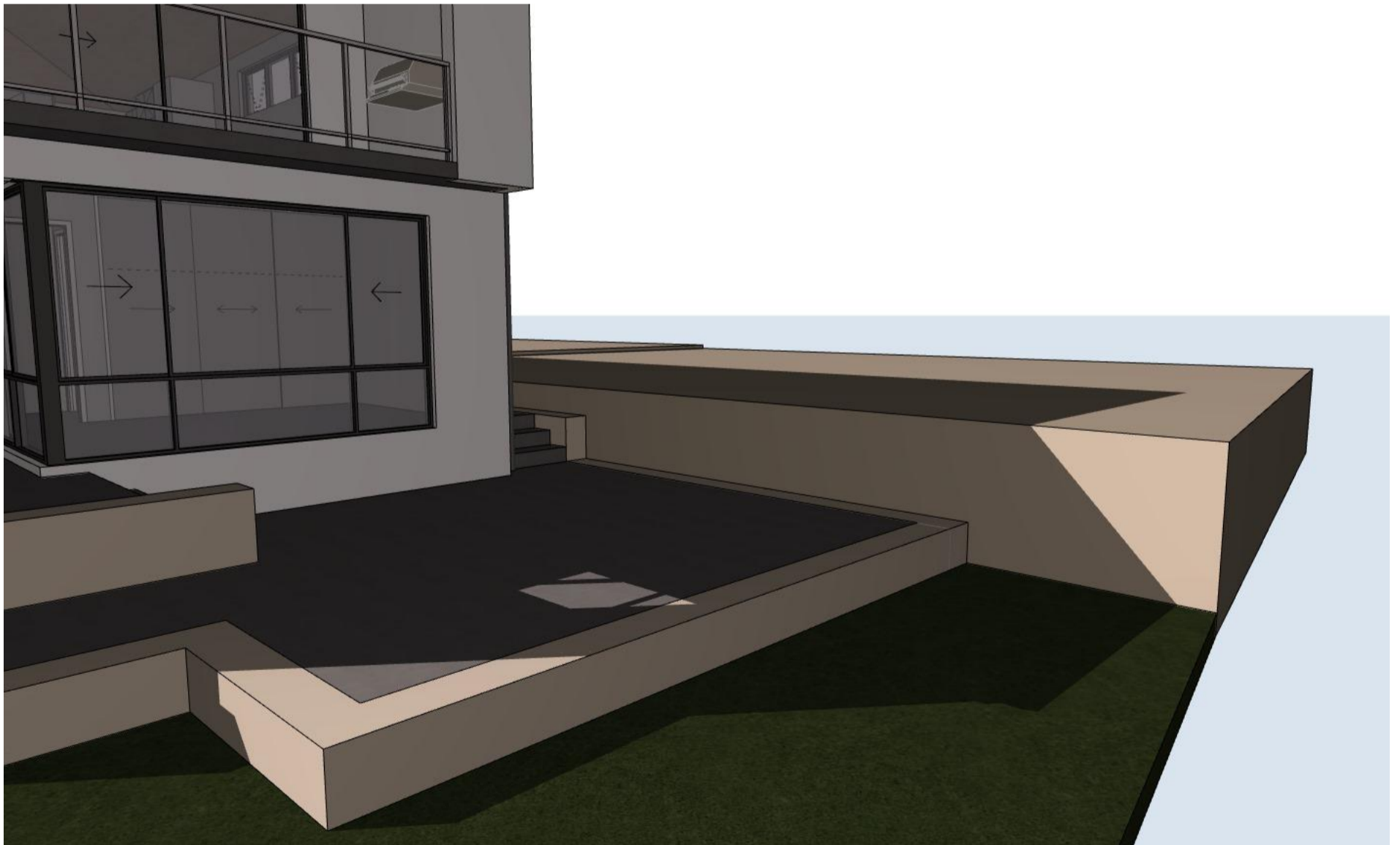
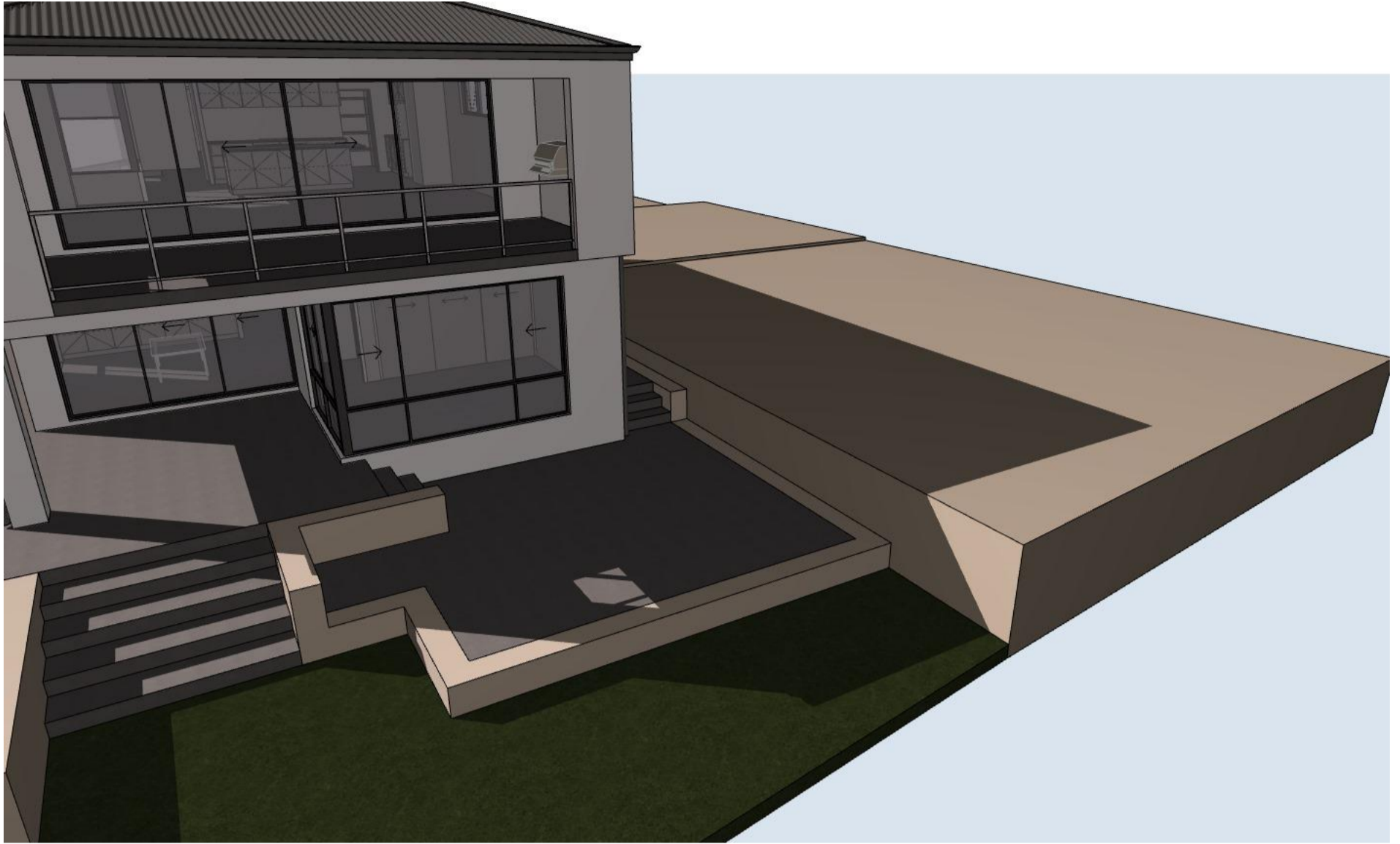
Concept 1	08/06/23	JD
Concept 2	28/06/23	JD
Planning	13/09/23	JD
Planning	28/11/23	JD
Planning	11/01/24	JD
Planning	25/03/24	JD

CLIENT \_\_\_\_\_

CLIENT \_\_\_\_\_

BUILDER \_\_\_\_\_





THE COPYRIGHT OF THIS DESIGN IS THE SOLE PROPERTY OF ABN Residential WA PTY. LTD. TRADING AS WEBB & BROWN-NEAVES AND THERE IS NO IMPLIED LICENCE FOR ITS USE FOR ANY PURPOSE BC5409 ©



WEBB & BROWN-NEAVES

ADDRESS #4B Volunteer Place OCEAN REEF  
 JOB NUMBER 18060  
 CONSULTANT Bojan Kovacic

CONCEPTS

Concept 1	08/06/23	JD
Concept 2	28/06/23	JD
Planning	13/09/23	JD
Planning	28/11/23	JD
Planning	11/01/24	JD
Planning	25/03/24	JD

CLIENT

CLIENT

BUILDER

