

FRATELLI GROUP

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COUNCIL: JOONDALUP				PROJECT: SPECIFICATION - ELITE CUSTOM DESIGN				OWNER(S): DWYER			
REV	DETAILS	DWN DATE	CHK/REV	DETAILS	DWN DATE	CHK	ADDRESS: LOT 2 MACQUARIE AVENUE PADBURY				
01	Const. Dwg	LM 25.03.24	-				JOB NO: FH0257		SHEET 01 of 08	REV No:	
02	AMEND (Shire)	LM 12.04.24					OWNER..... DATE.....		SCALE:	02	
							BUILDER..... DATE.....		SITE PLAN		

SERVICE LEGEND

POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
BOARD	□ PB
PIT	□ POW
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊗ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

SITE COVER CALC.

ZONED R40
% ALLOWED 55%
SITE AREA 257.39m²
SITE COVER 145.75m²

SITE COV. = 56.6%

COMMON AREA (80m² / 2) 40m²
SITE AREA + COMMON AREA 297m²

ADJUSTED SITE COVERAGE = 49.01%



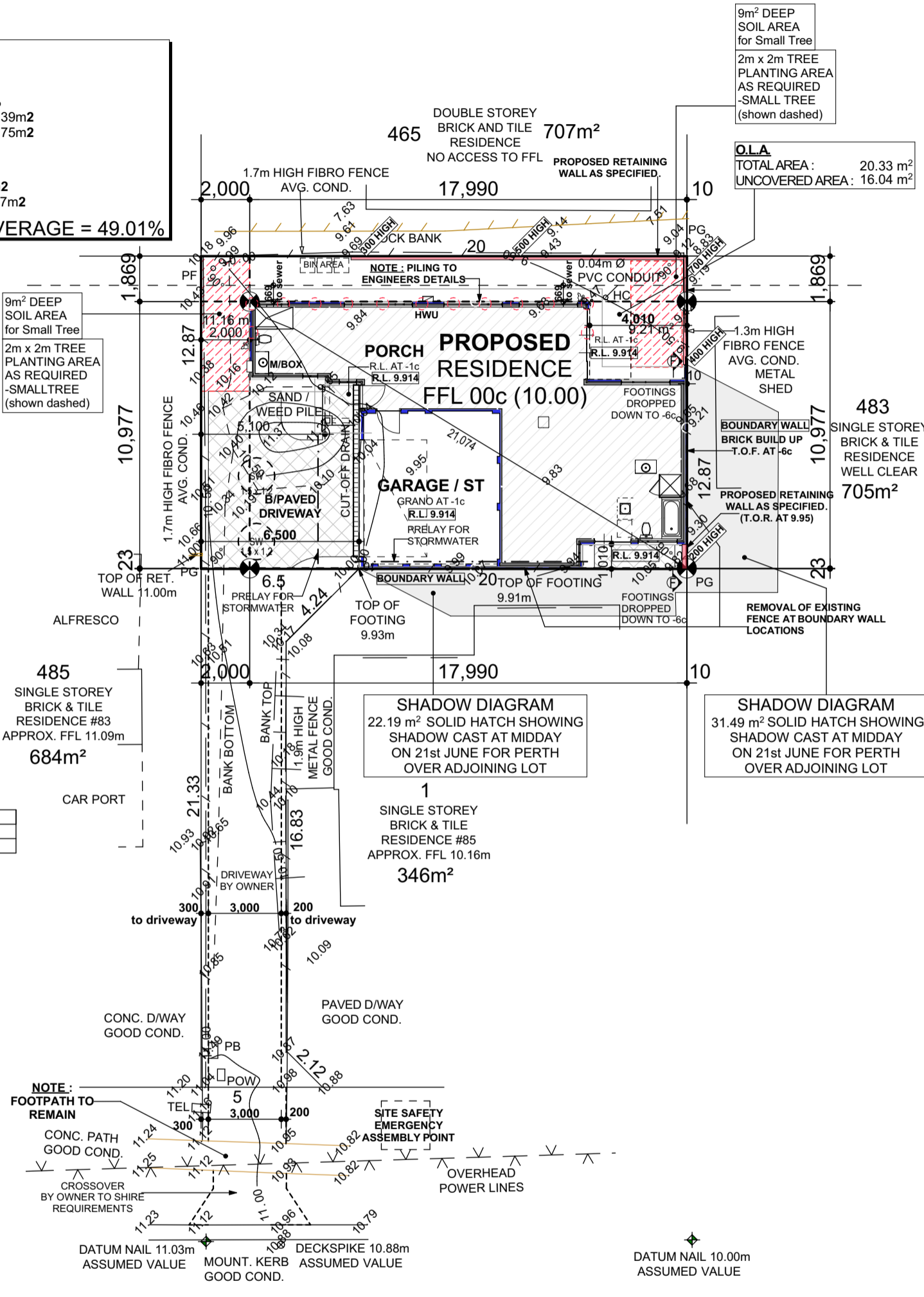
TERMITE TREATMENT TO BE IN ACCORDANCE N.C.C. 2016 PART 3.1.3 PART 2.1.1 & PART 1.0.7 USING THE TERMICO MANAGEMENT SYSTEM

NOTE: SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.

STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS)

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m ³
Roof Area GF		162.0 m ²
Total Area		162.0 m ²
Capacity Required (Area x 0.0125)		2.0 m ³
Extra Capacity Provided		2.2 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE



GROUND COVER
SANDY / WEED / RUBBISH

LOT RECORDS

LOT SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER		✓		✓
SEWERAGE	✓			
GAS		✓		✓
TELE.	✓			
DRAINAGE				✓
POWER	U/G	✓		
	O/H		✓	✓

AREA: ESTAB 08/2021
COASTAL DISTANCE 1.5-10km
LOT: 2
AREA: 257 m²
APPROX. AHD + 31.81m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY
SEWER INVERT LEVEL 7.47
SEWER BROUGHT UP 0.00
DEPTH TO CONNECTION 2.00

TITLE : FEATURE SURVEY	LOT : 2 No. 85/A MACQUARIE AV
CLIENT : GRACE DWYER	SUBURB : PADBURY
BUILDER : FRATELLI HOMES (WA)	SSP : 83417
	AUTHORITY : CITY OF JOONDALUP
	C/T : 4009/48
UBD REF : 186 E 7	GPS : S 31.79648° E 115.76916°
SHEET 1 of 1	BUILDER'S REF FH0257
SURVEYED 25/10/23	SCALE @ A3 1:200
DWG No 48514-01-100	REV A

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

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COUNCIL: JOONDALUP

PROJECT: SPECIFICATION - ELITE
CUSTOM DESIGN

OWNER(S): DWYER

REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK
01	Const. Dwg	LM	25.03.24	-					
02	AMEND (Shire)	LM	12.04.24						

ADDRESS:
**LOT 2
MACQUARIE AVENUE
PADBURY**

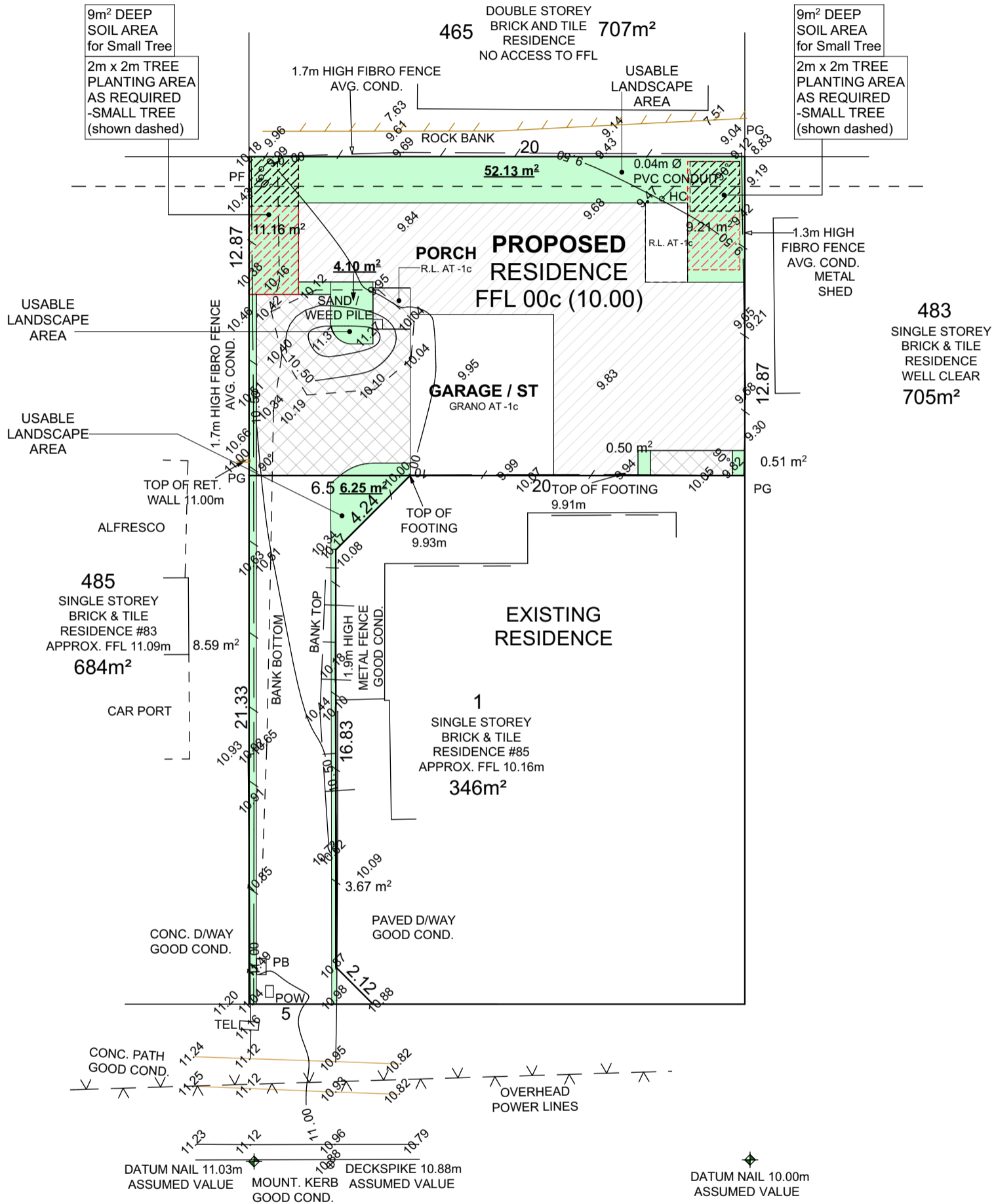
JOB NO: **FH0257** SHEET 02 of 08 REV No:
LANDSCAPE PLAN SCALE: **02**

SERVICE LEGEND

POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
BOARD	□ PB
PIT	□ POW
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊕ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

LANDSCAPING AREA - H.O.A.

AREA REQUIRED (20%)
LOT AREA 257m² (+ COMMON 2/80 = 40m²) : 59.40m²
TOTAL AREA ON SITE : **62.48m²**



LOT RECORDS

LOT SERVICE	STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
SEWERAGE	✓				
GAS		✓	✓	✓	
TELE.	✓				
DRAINAGE					✓
POWER	U/G	✓			
	O/H		✓		✓

AREA: ESTAB 08/2021

COASTAL DISTANCE 1.5-10km

LOT: 2
AREA: 257 m²

APPROX. AHD + 31.81m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY
SEWER INVERT LEVEL 7.47
SEWER BROUGHT UP 0.00
DEPTH TO CONNECTION 2.00

GROUND COVER

SANDY / WEED / RUBBISH

TITLE : FEATURE SURVEY

CLIENT : GRACE DWYER

BUILDER : FRATELLI HOMES (WA)

LOT : 2 No. 85/A MACQUARIE AV

SUBURB : PADBURY

SSP : 83417

AUTHORITY : CITY OF JOONDALUP

C/T : 4009/48

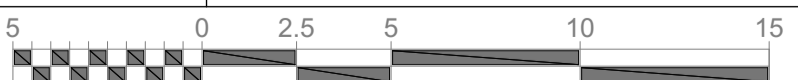


P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au

UBD REF : 186 E 7

GPS: S 31.79648°

E 115.76916°



NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

SHEET	BUILDER'S REF	SURVEYED	SCALE @ A3	DWG No	REV
1 of 1	FH0257	25/10/23	1:200	48514-01-100	A

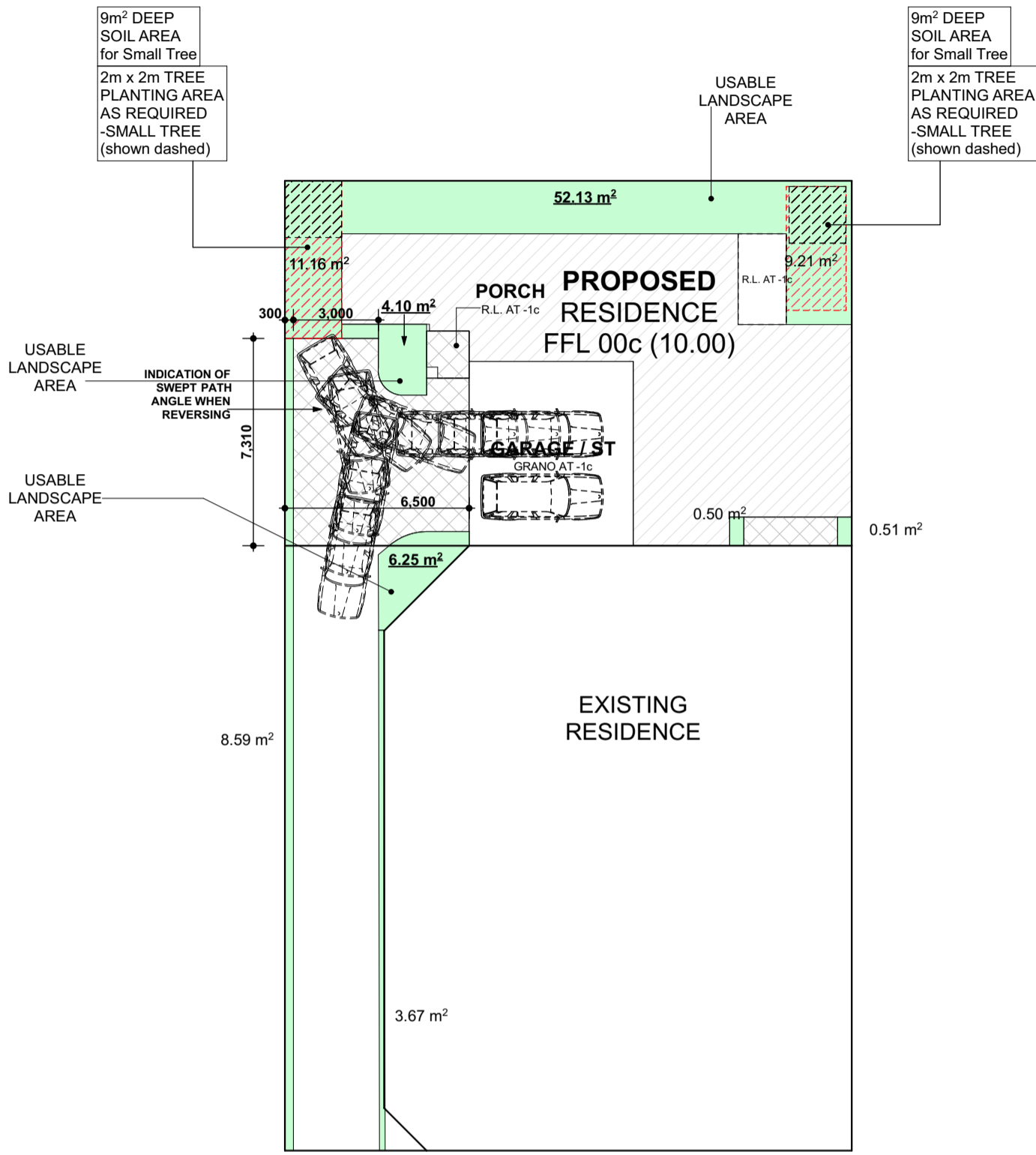
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COUNCIL: JOONDALUP				PROJECT: SPECIFICATION - ELITE CUSTOM DESIGN				OWNER(S): DWYER			
REV	DETAILS	DWN DATE	CHK	REV	DETAILS	DWN DATE	CHK	ADDRESS: LOT 2 MACQUARIE AVENUE PADBURY			
01	Const. Dwgs	LM 25.03.24	-					JOB NO: FH0257		SHEET 03 of 08	REV No:
02	AMEND (Shire)	LM 12.04.24						CAR PARKING PLAN		SCALE:	02
OWNER..... DATE.....								JOB NO: FH0257		SHEET 03 of 08	REV No:
BUILDER..... DATE.....								CAR PARKING PLAN		SCALE:	02

SERVICE LEGEND

POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
BOARD	□ PB
PIT	□ POW
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊗ WTP
WATER METER	φ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF



CAR PARKING PLAN
1:200

LOT RECORDS

STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER		✓		✓
SEWERAGE	✓			
GAS		✓		✓
TELE.	✓			
DRAINAGE				✓
POWER U/G	✓			
O/H		✓		✓

AREA: ESTAB 08/2021
COASTAL DISTANCE 1.5-10km
LOT: 2
AREA: 257 m²
APPROX. AHD + 31.81m

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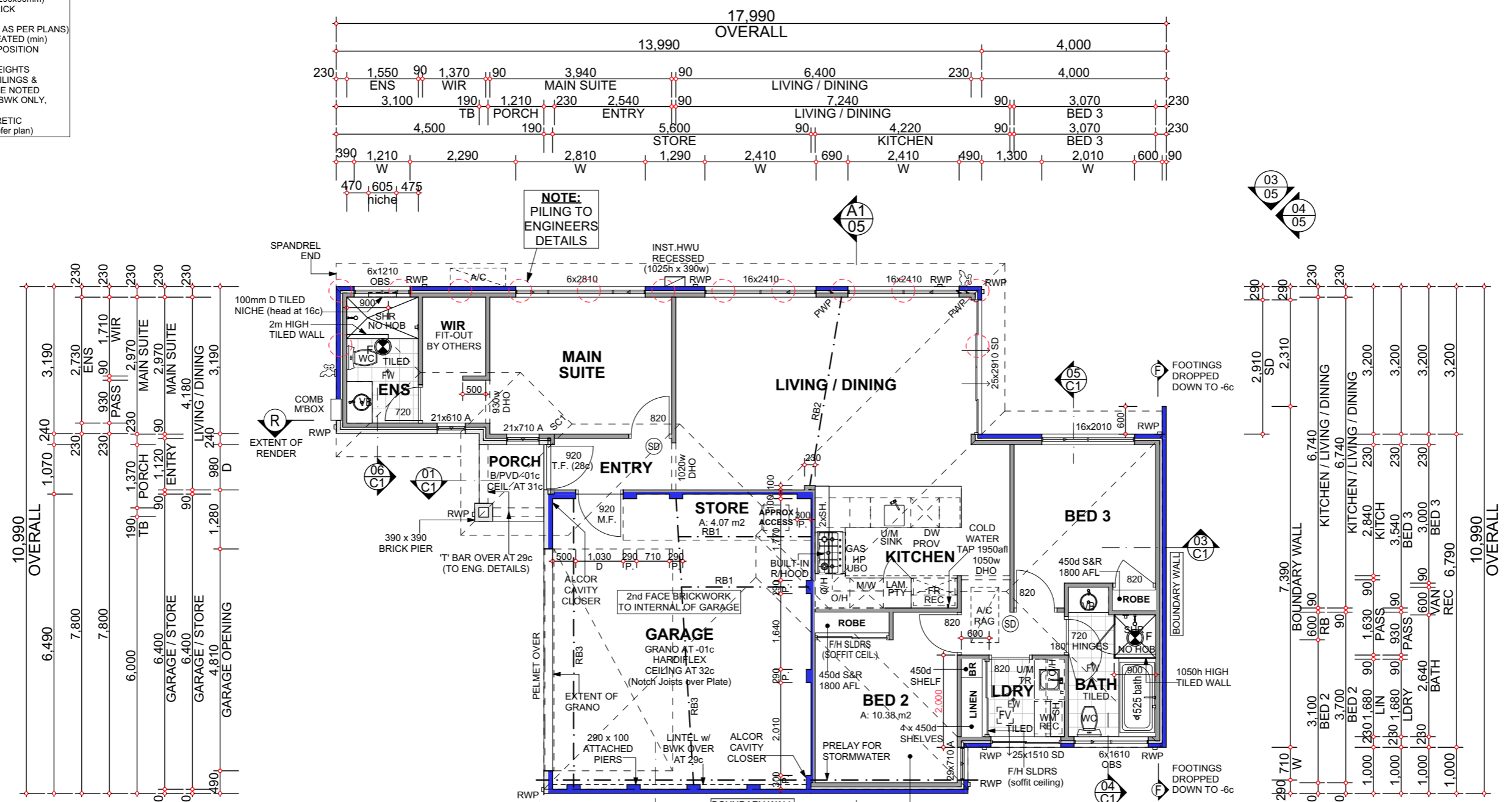


GROUND COVER
SANDY / WEED / RUBBISH

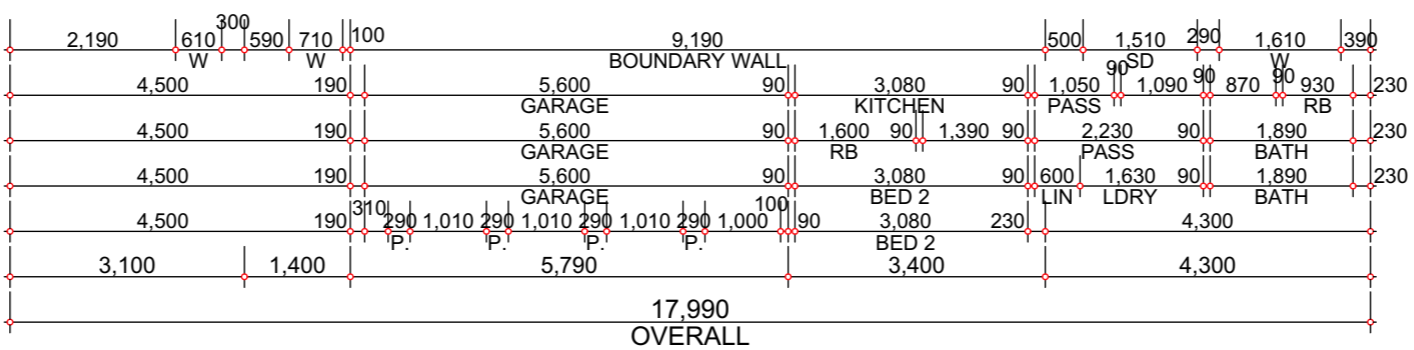
TITLE : FEATURE SURVEY		LOT : 2 No. 85/A MACQUARIE AV	
CLIENT : GRACE DWYER		SUBURB : PADBURY	
BUILDER : FRATELLI HOMES (WA)		SSP : 83417	
		AUTHORITY : CITY OF JOONDALUP	
		C/T : 4009/48	
P: (08) 9354 8511		UBD REF : 186 E 7	
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SHEET 1 of 1	BUILDER'S REF FH0257	SURVEYED 25/10/23	SCALE @ A3 1:200
		DWG No 48514-01-100	REV A

NOTE:
 -230mm CAVITY DOUBLE BRICK
 -EXT. WALLS 2c FACE BRICK (162x290x90mm)
 -INT. WALLS PLASTERED 90mm BRICK
 -FRONT ELEVATION / PART REAR
 -ACRYLIC TEXTURE COAT (EXTENT AS PER PLANS)
 -ALL STRUCTURAL TIMBER H2 TREATED (min)
 -RWP's INDICATIVE ONLY & FINAL POSITION TO PLUMBERS DISCRETION.
 -REFER ELEVATIONS FOR EAVE HEIGHTS
 -HARDIFLEX TO ALL EXTERNAL CEILINGS & EAVE LININGS UNLESS OTHERWISE NOTED
 -ALL DIMENSIONS MEASURED TO BWK ONLY. DOES NOT INCLUDE PLASTER.
 -PVC PIPES FOR STORMWATER / RETIC UNDER HOUSE / GARAGE SLAB (refer plan)

NOTE:
32c +PLATE CEILING LEVEL
 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK & ACRYLIC TEXTURE COAT FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



BED 2 LIGHT & VENTILATION:
 BED 2 AREA = 10.38m², 15% = 1.557m²
 WINDOW SIZE (29c x 710A) -
 TOTAL AREA = 1.77m², GLAZED ONLY = 1.50m²



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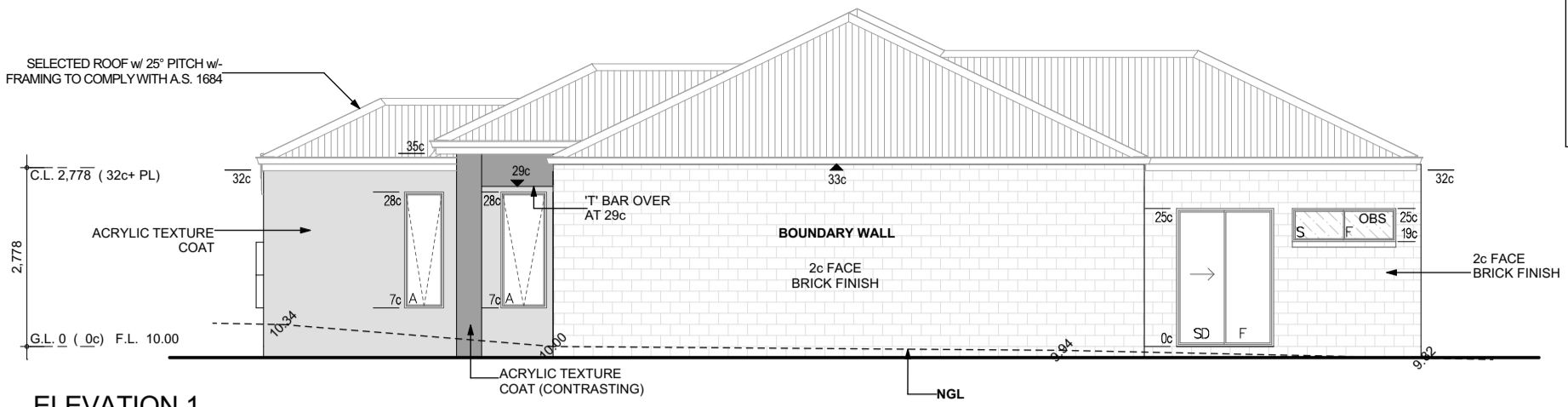
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AREA	PERIM.	COUNCIL:	PROJECT:	OWNER(S):
GR. FLOOR	108.27	JOONDALUP	SPECIFICATION - ELITE	DWYER
GARAGE / ST	37.58		CUSTOM DESIGN	
PORCH	2.49			
REV	DETAILS	DWN DATE	CHK/REV	DETAILS
01	Const. Dwgs	LM 25.03.24		
02	AMEND (Shire)	LM 12.04.24		
TOTAL AREA	148.34 m²		OWNER..... DATE.....	JOB NO: FH0257
			BUILDER..... DATE.....	SHEET 04 of 08
				REVISION: 02
				SCALE: 1:100

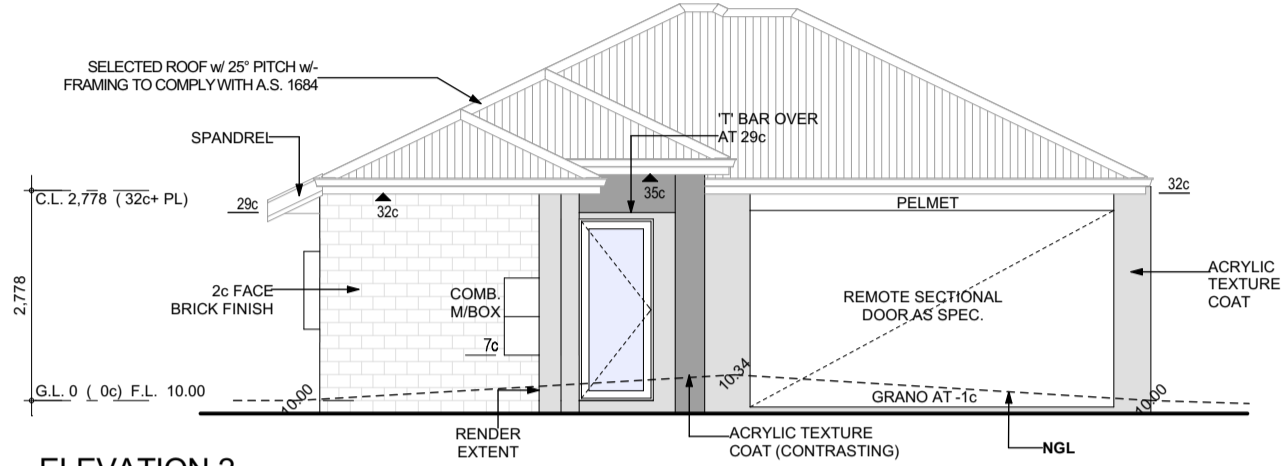
ADDRESS:
**LOT 2
 MACQUARIE AVENUE
 PADBURY**

JOB NO: **FH0257** SHEET 04 of 08 REV No:
 FLOOR PLAN SCALE: 1:100 **02**

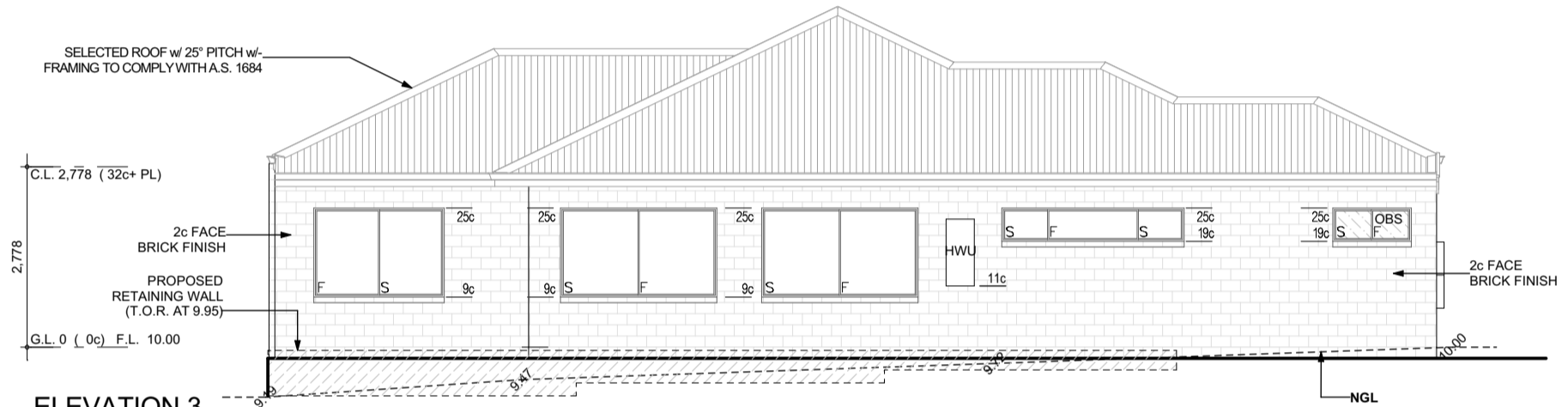
NOTE:
32c +PLATE CEILING LEVEL
 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK & ACRYLIC TEXTURE COAT FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



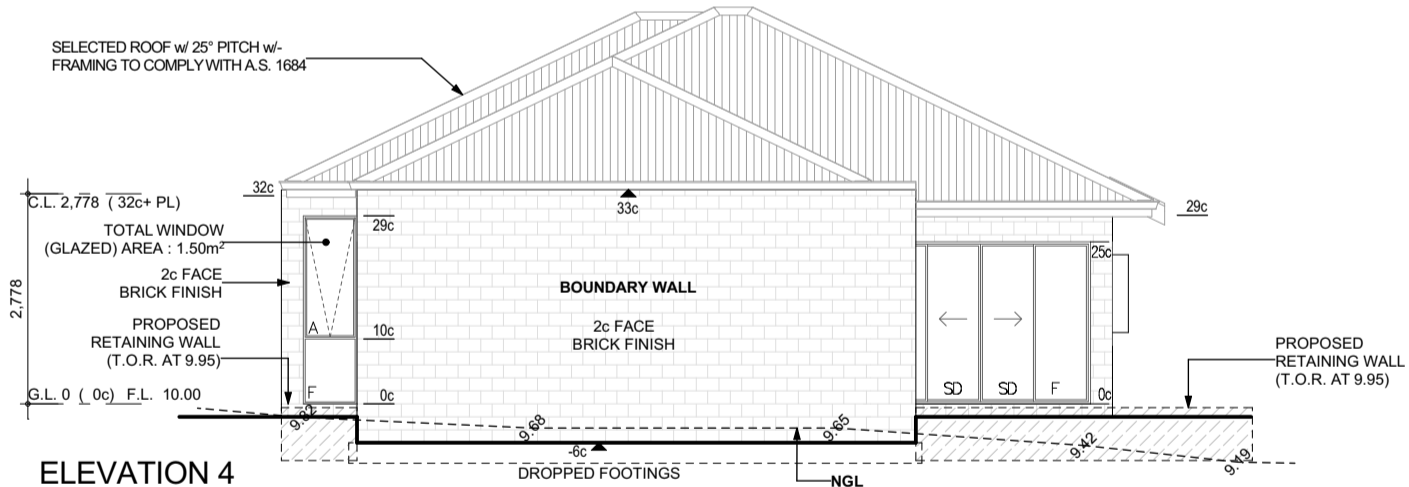
ELEVATION 1
1:100



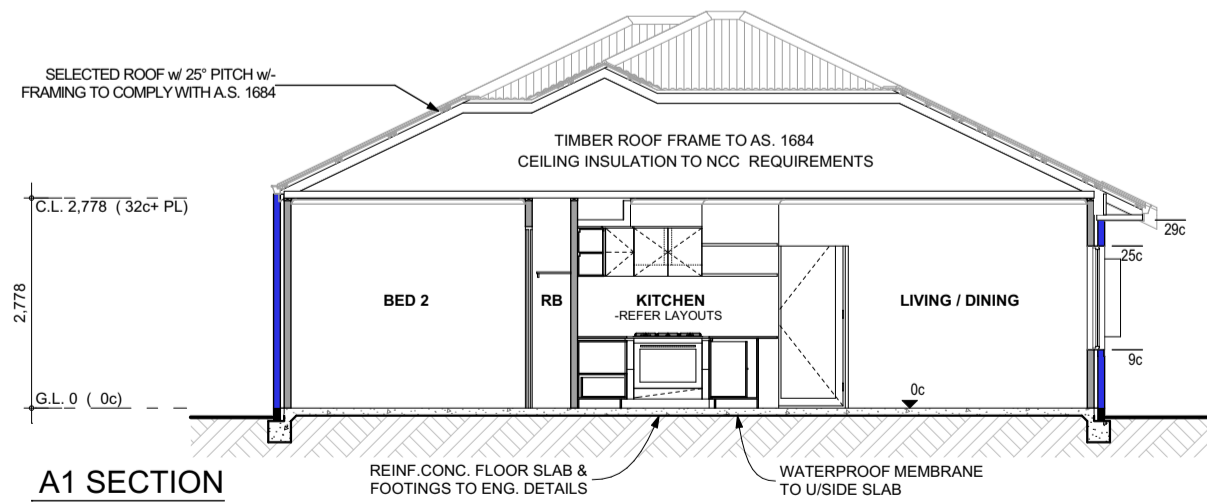
ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100



A1 SECTION
1:100

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COUNCIL:
JOONDALUP

REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK
01	Const. Dwgs	LM	25.03.24	-					
02	AMEND (Shire)	LM	12.04.24						

PROJECT: SPECIFICATION - ELITE
CUSTOM DESIGN

REV	DETAILS	DWN	DATE	CHK	REV	DETAILS	DWN	DATE	CHK

OWNER(S):
DWYER

ADDRESS:
**LOT 2
MACQUARIE AVENUE
PADBURY**

OWNER..... DATE.....
BUILDER..... DATE.....

JOB NO: **FH0257** SHEET 05 of 08 REV No:
ELEVATIONS / SECTION SCALE: 1:100 **02**