

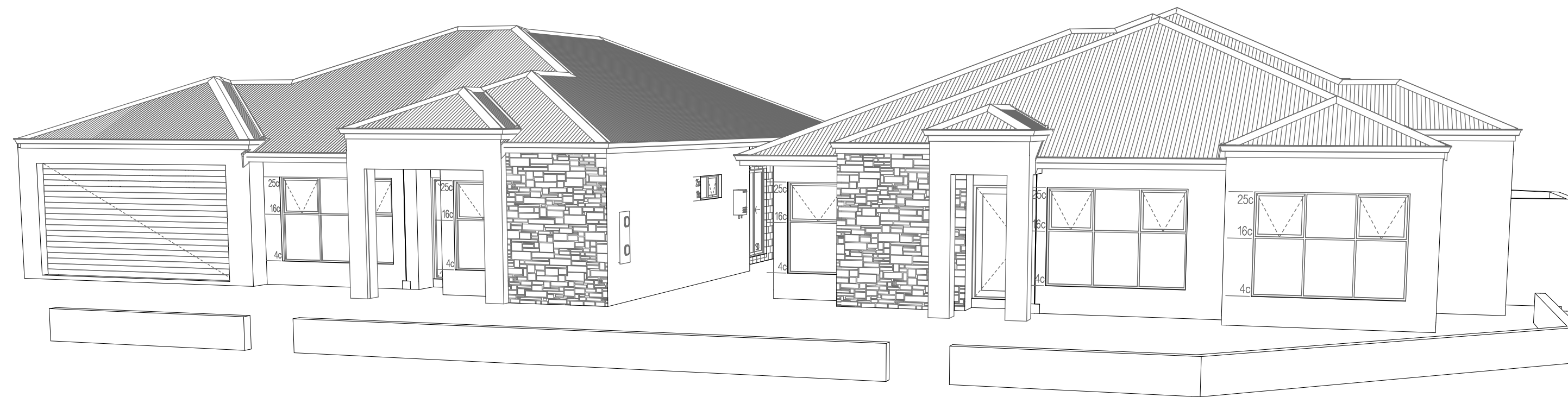
# D'Amico

Address: 90 Giles Ave PADBURY

2 x Single Storey Dwellings

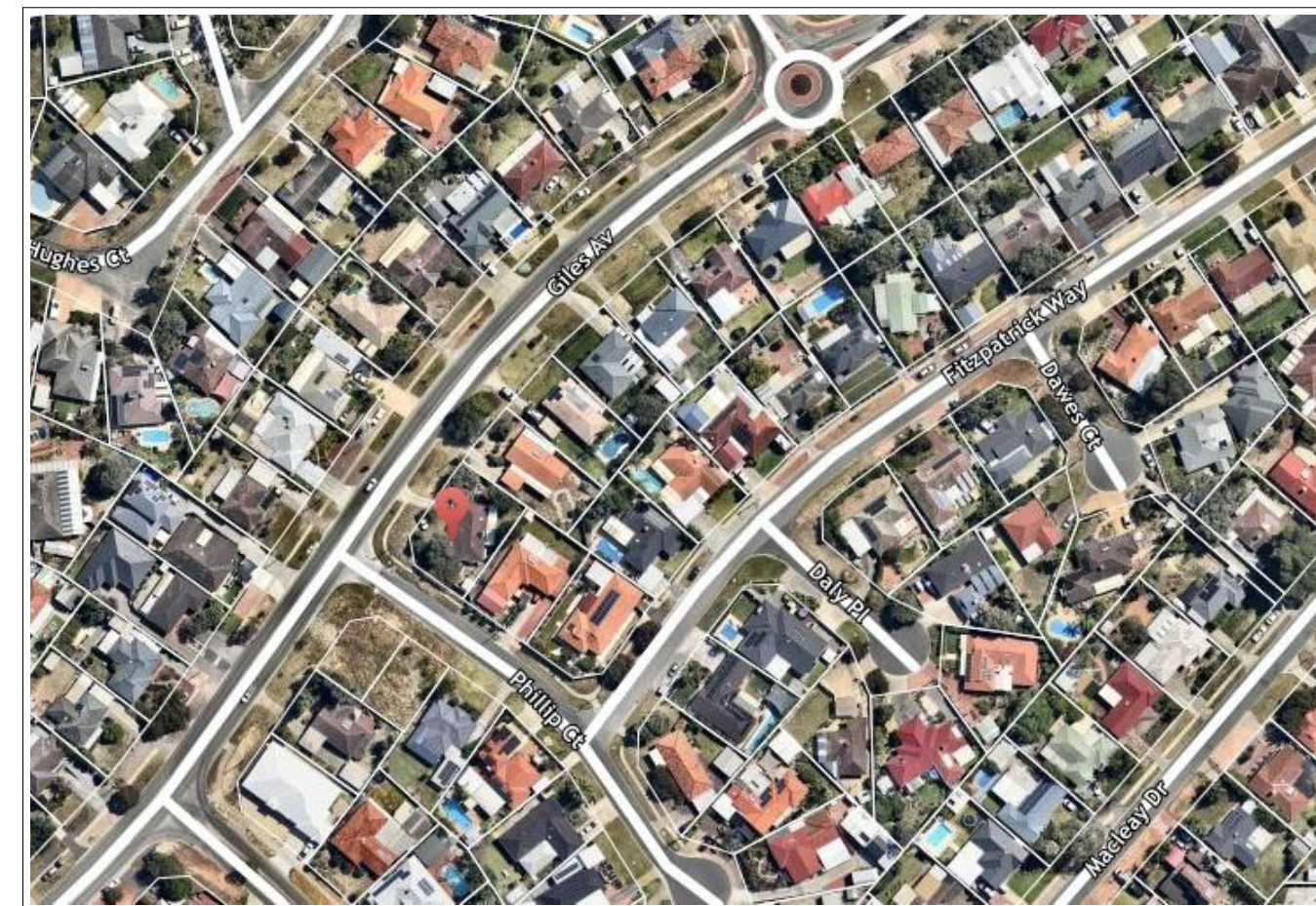
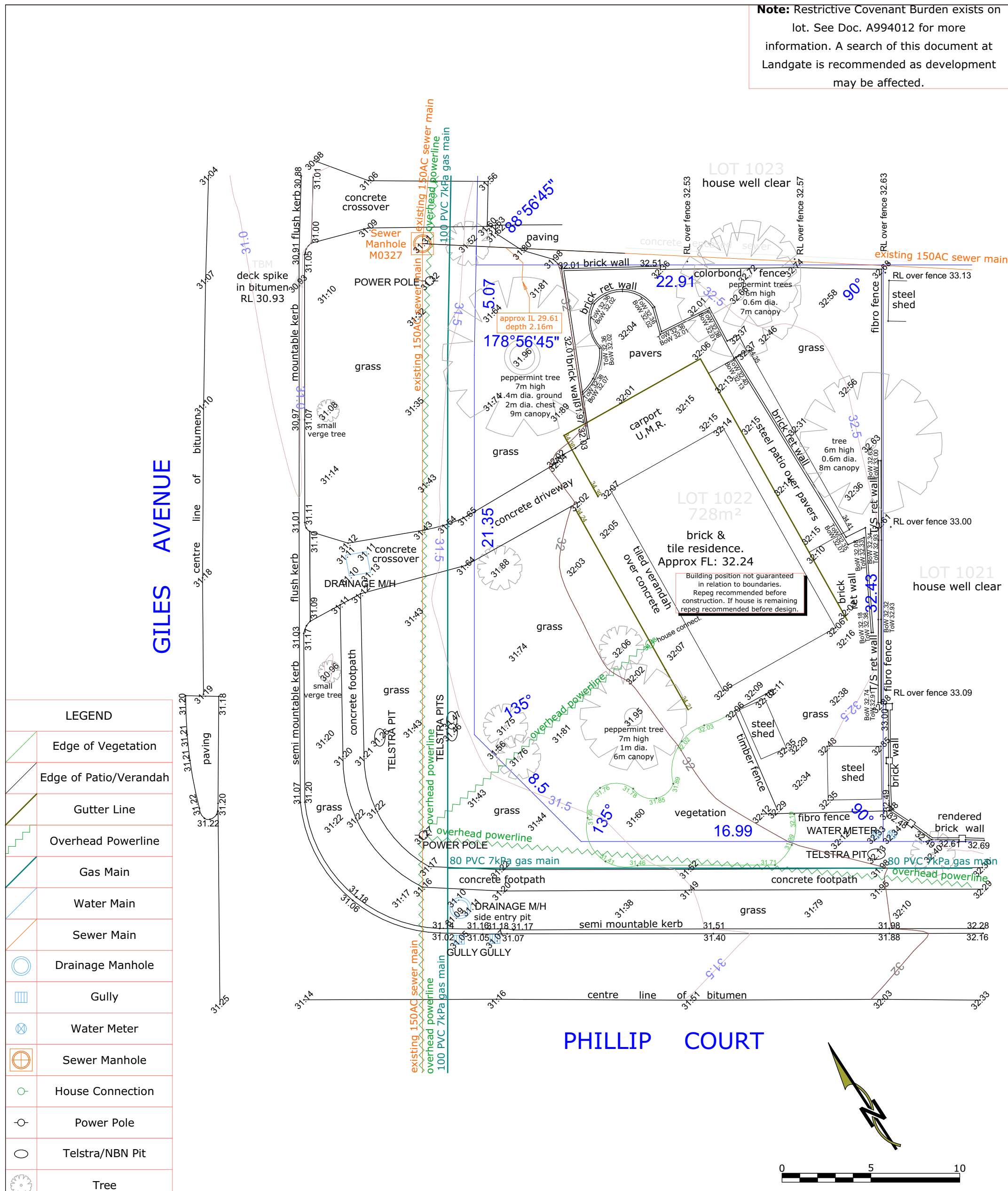
Job Number: 23035

| Drawing No | Description             |
|------------|-------------------------|
| 01         | Cover Page              |
| 02         | Existing Site Survey    |
| 03         | Site Plan               |
| 04         | Landscaping/Strata Plan |
| 05         | Floor Plan              |
| 06         | Elevations              |





**Note:** Restrictive Covenant Burden exists on lot. See Doc. A994012 for more information. A search of this document at Landgate is recommended as development may be affected.



| LEGEND |                        |
|--------|------------------------|
|        | Edge of Vegetation     |
|        | Edge of Patio/Verandah |
|        | Gutter Line            |
|        | Overhead Powerline     |
|        | Gas Main               |
|        | Water Main             |
|        | Sewer Main             |
|        | Drainage Manhole       |
|        | Gully                  |
|        | Water Meter            |
|        | Sewer Manhole          |
|        | House Connection       |
|        | Power Pole             |
|        | Telstra/NBN Pit        |
|        | Tree                   |

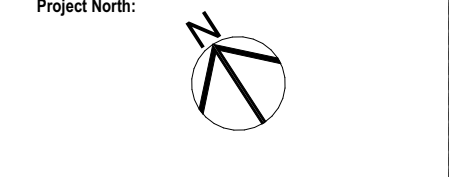
| Survey Date: 13 September 2021  |            | Scale 1:200@A3         |      |       |
|---------------------------------|------------|------------------------|------|-------|
| Client: E&C Investments Pty Ltd |            |                        |      |       |
| Rev                             | Date       | Description            | Surv | Drawn |
| 0                               | 21/09/2021 | Feature Survey Drafted | TF   | TF    |

**FEATURE AND CONTOUR SURVEY  
OF LOT 1022 ON PLAN 11132  
90 Giles Avenue, Padbury  
C/T Vol: 1398 Fol: 358  
our ref. 21-9440**

Feature Survey by  
**THE LAND DIVISION**  
PO Box 2444,  
Malaga, WA 6090  
phone: 08 9209 3232  
www.landdivision.com.au

NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND CAVEATS THAT MAY APPEAR ON THE CERTIFICATE OF TITLE. 2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE. 4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT DIAL BEFORE YOU DIG TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS. 7) CONSULT TLD ON ANY ANOMALY BEFORE DESIGN AND CONSTRUCTION. 8) POSITION AND DEPTH OF SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR. 9) FEATURES ARE RELATED TO FENCE-LINES ONLY. NO CONNECTION MADE TO BOUNDARIES. **REPEP RECOMMENDED.**

| Revision | Description | Date     |
|----------|-------------|----------|
| 2.00     | DA Drawings | 27.02.24 |
| 1.00     | Concept     | 19.09.23 |



Client  
D'Amico

Project Name  
2 x Single Storey Dwellings

Project Address  
90 Giles Ave PADBURY

Drawing Title:  
**Existing Site Survey**

|              |                  |
|--------------|------------------|
| Scale:       | Sheet Size:      |
| <b>1:200</b> | <b>A2</b>        |
| Project No:  | Revision Number: |
| <b>23035</b> | <b>2.00</b>      |

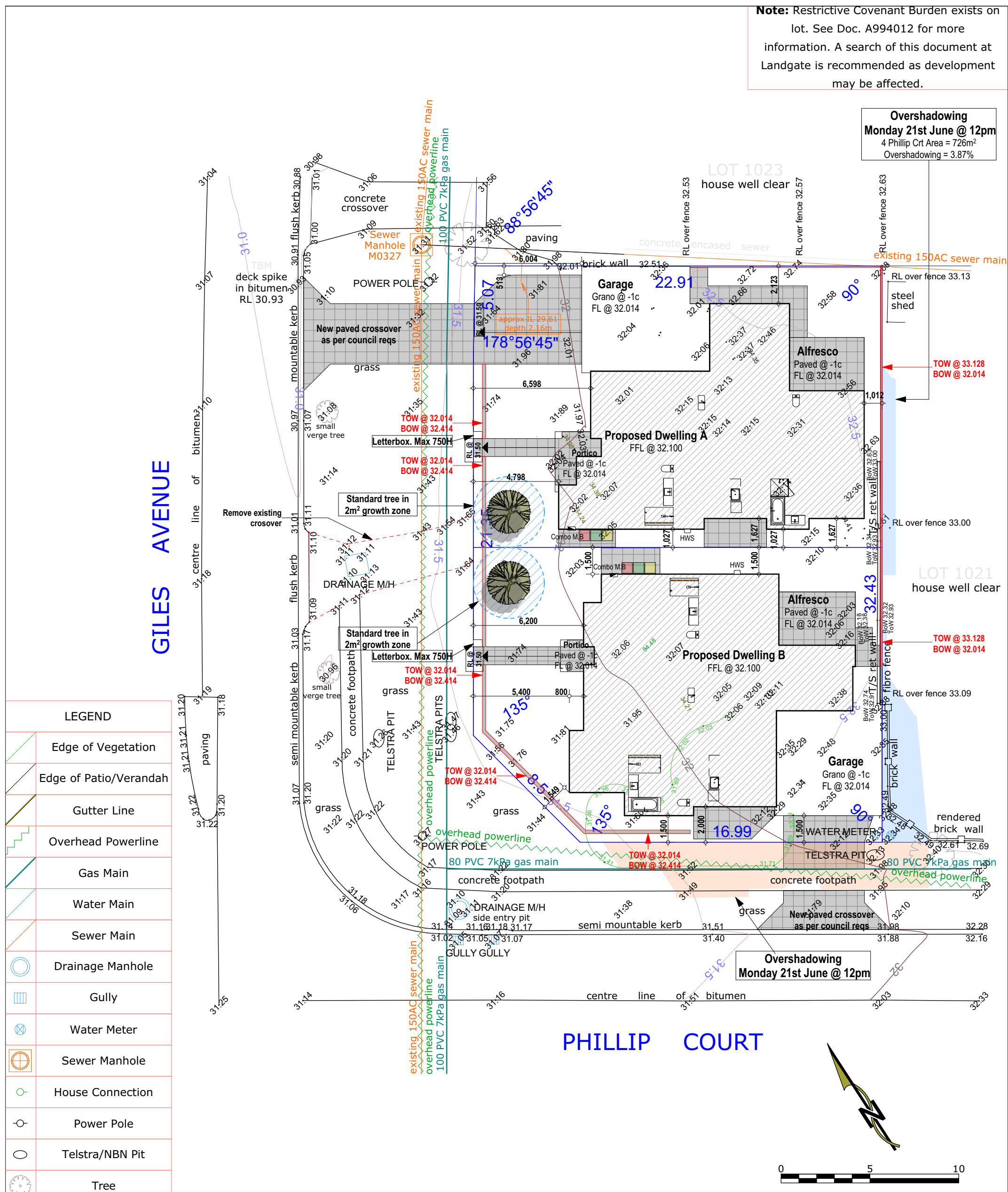
Drawing No.:  
**02 of 06**

Unit: 3/1 Mulgool Road, Malaga WA 6090  
(08) 9248 8392 germanodesigns.com.au

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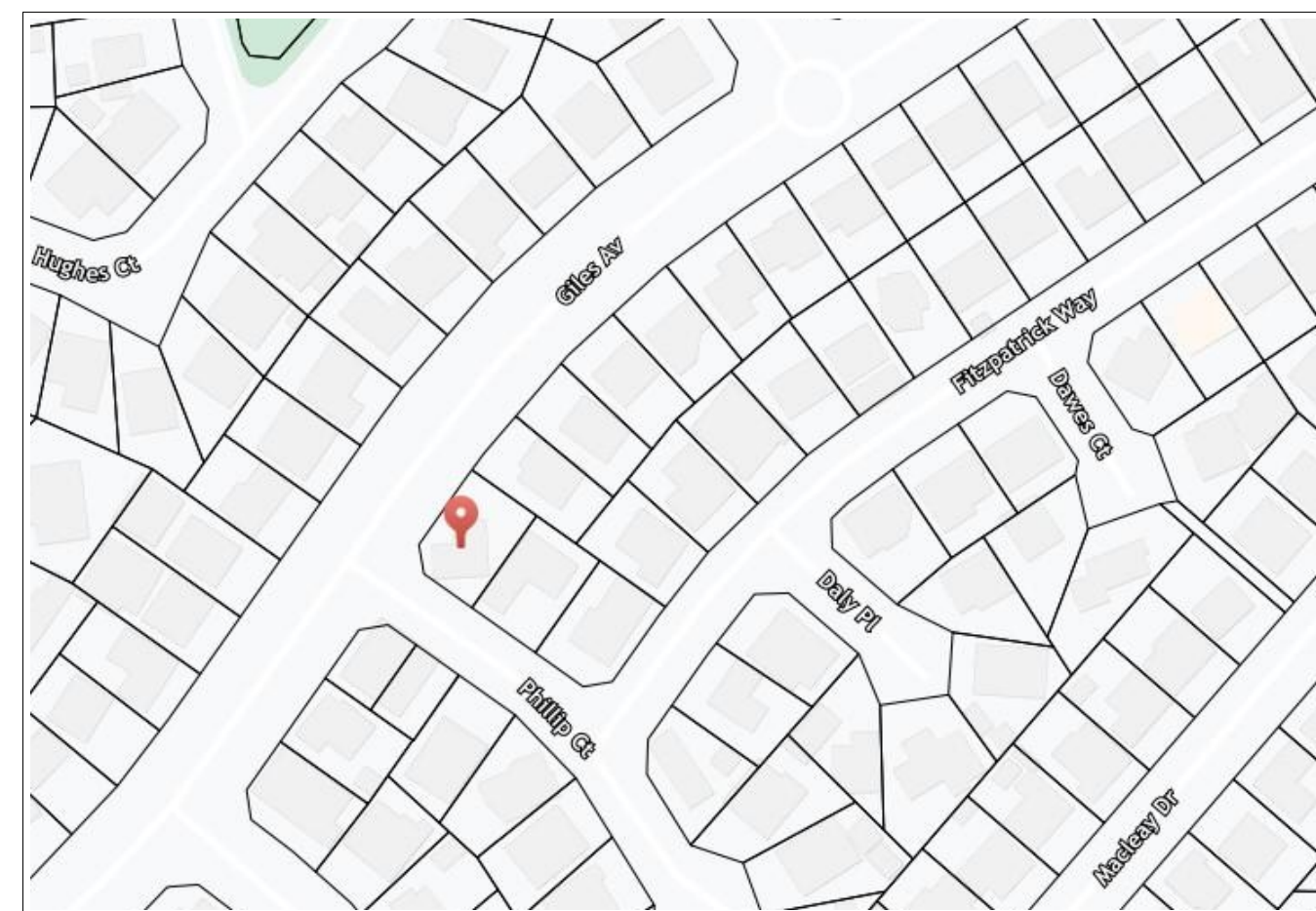
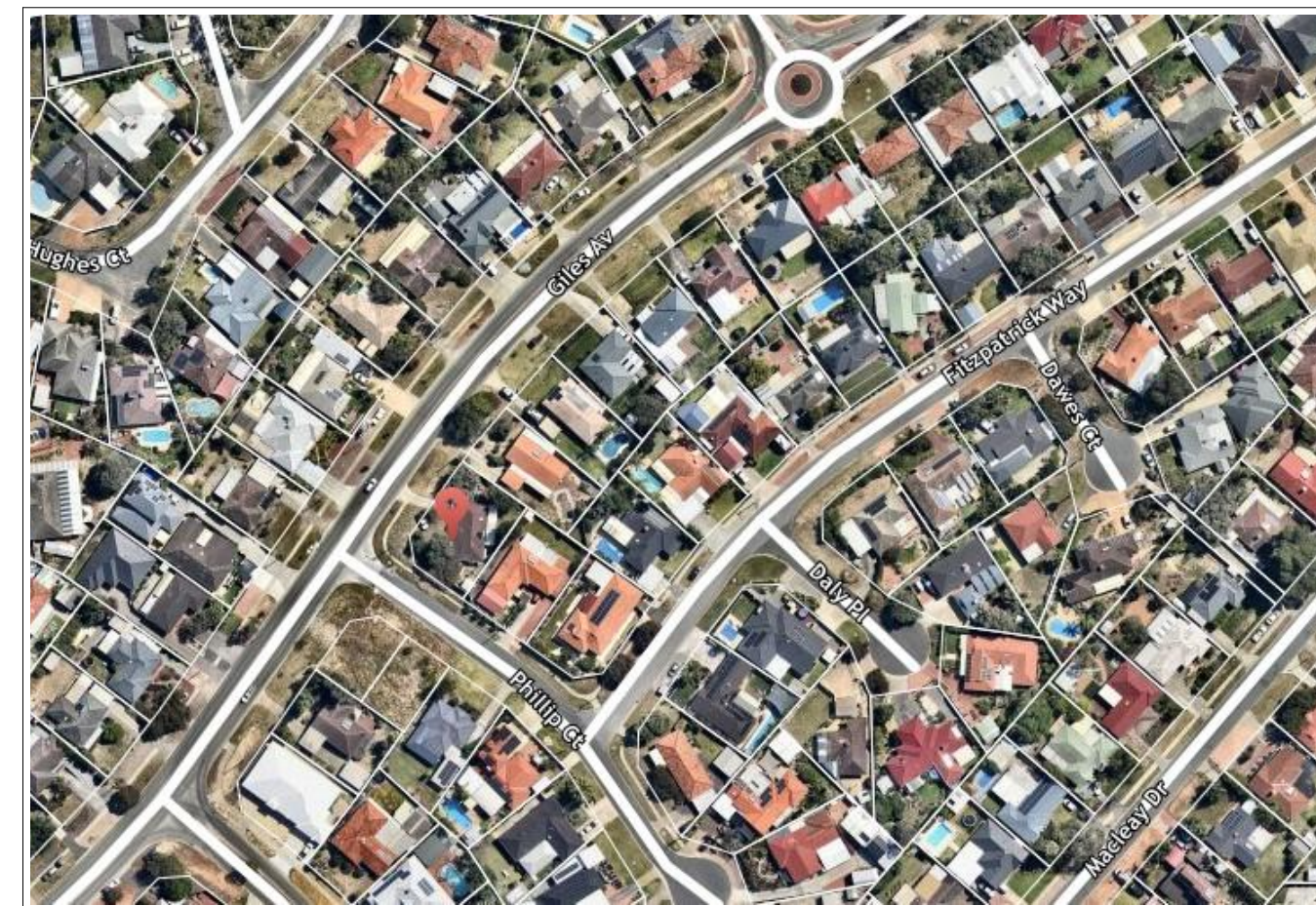


**Note:** Restrictive Covenant Burden exists on lot. See Doc. A994012 for more information. A search of this document at Landgate is recommended as development may be affected.



**Overshadowing**  
**Monday 21st June @ 12pm**  
 4 Phillip Ct Area = 726m<sup>2</sup>  
 Overshadowing = 3.87%

**Overshadowing**  
**Monday 21st June @ 12pm**



**Site Calculations**

|                          |                      |
|--------------------------|----------------------|
| Unit A                   | 363.58m <sup>2</sup> |
| Site Area:               | 193.36m <sup>2</sup> |
| Building Footprint:      | 53.18%               |
| Site Coverage:           | 50%                  |
| Allowable Site Coverage: |                      |

|                          |                      |
|--------------------------|----------------------|
| Unit B                   | 363.51m <sup>2</sup> |
| Site Area:               | 199.09m <sup>2</sup> |
| Building Footprint:      | 54.76%               |
| Site Coverage:           | 50%                  |
| Allowable Site Coverage: |                      |

| Zone              | Area                  | Perim      |
|-------------------|-----------------------|------------|
| <b>Dwelling A</b> |                       |            |
| Portico           | 5.40                  | 11,980     |
| Alfresco          | 12.60                 | 14,400     |
| Garage            | 40.19                 | 26,380     |
| Residence         | 150.45                | 62,160     |
|                   | 208.64 m <sup>2</sup> | 114,920 mm |
| <b>Dwelling B</b> |                       |            |
| Portico           | 2.93                  | 7,380      |
| Alfresco          | 12.90                 | 14,600     |
| Garage            | 39.17                 | 28,840     |
| Residence         | 159.31                | 60,560     |
|                   | 214.31 m <sup>2</sup> | 111,380 mm |

|              |                |
|--------------|----------------|
| Zoning:      | R20            |
| Policies:    | R Codes        |
| Heritage:    | NA             |
| Bushfire:    | NA             |
| BAL:         | NA             |
| Acoustic:    | NA             |
| Sewer:       | North Boundary |
| Power:       | Pole           |
| Coastal:     | NA             |
| Water:       | South Boundary |
| Wind Rating: | TBC            |

|      |             |          |
|------|-------------|----------|
| 2.00 | DA Drawings | 27.02.24 |
| 1.00 | Concept     | 19.09.23 |

| Revision | Description | Date |
|----------|-------------|------|
|----------|-------------|------|



Client  
D'Amico

Project Name  
2 x Single Storey Dwellings

Project Address  
90 Giles Ave PADBURY

Drawing Title  
Site Plan

Scale: 1:200 Sheet Size: A2

Project No: 23035 Revision Number: 2.00

Drawing No.:

03 of 06



Unit: 3/1 Mulgill Road, Malaga WA 6090  
(08) 9248 8392 germanodesigns.com.au

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**LEGEND**

|  |                        |
|--|------------------------|
|  | Edge of Vegetation     |
|  | Edge of Patio/Verandah |
|  | Gutter Line            |
|  | Overhead Powerline     |
|  | Gas Main               |
|  | Water Main             |
|  | Sewer Main             |
|  | Drainage Manhole       |
|  | Gully                  |
|  | Water Meter            |
|  | Sewer Manhole          |
|  | House Connection       |
|  | Power Pole             |
|  | Telstra/NBN Pit        |
|  | Tree                   |

TBM deck spike in bitumen equals RL 30.93 AHD  
 Based on sewer manhole M0326 RL 30.87 AHD (Water Corp e-plan)  
 Contractor to check datum before adopting levels

|                                 |                   |                        |          |       |
|---------------------------------|-------------------|------------------------|----------|-------|
| Survey Date:                    | 13 September 2021 | Scale:                 | 1:200@A3 |       |
| Client: E&C Investments Pty Ltd |                   |                        |          |       |
| Rev                             | Date              | Description            | Surv     | Drawn |
| 0                               | 21/09/2021        | Feature Survey Drafted | TF       | TF    |




**FEATURE AND CONTOUR SURVEY**  
**OF LOT 1022 ON PLAN 11132**  
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Feature Survey by  
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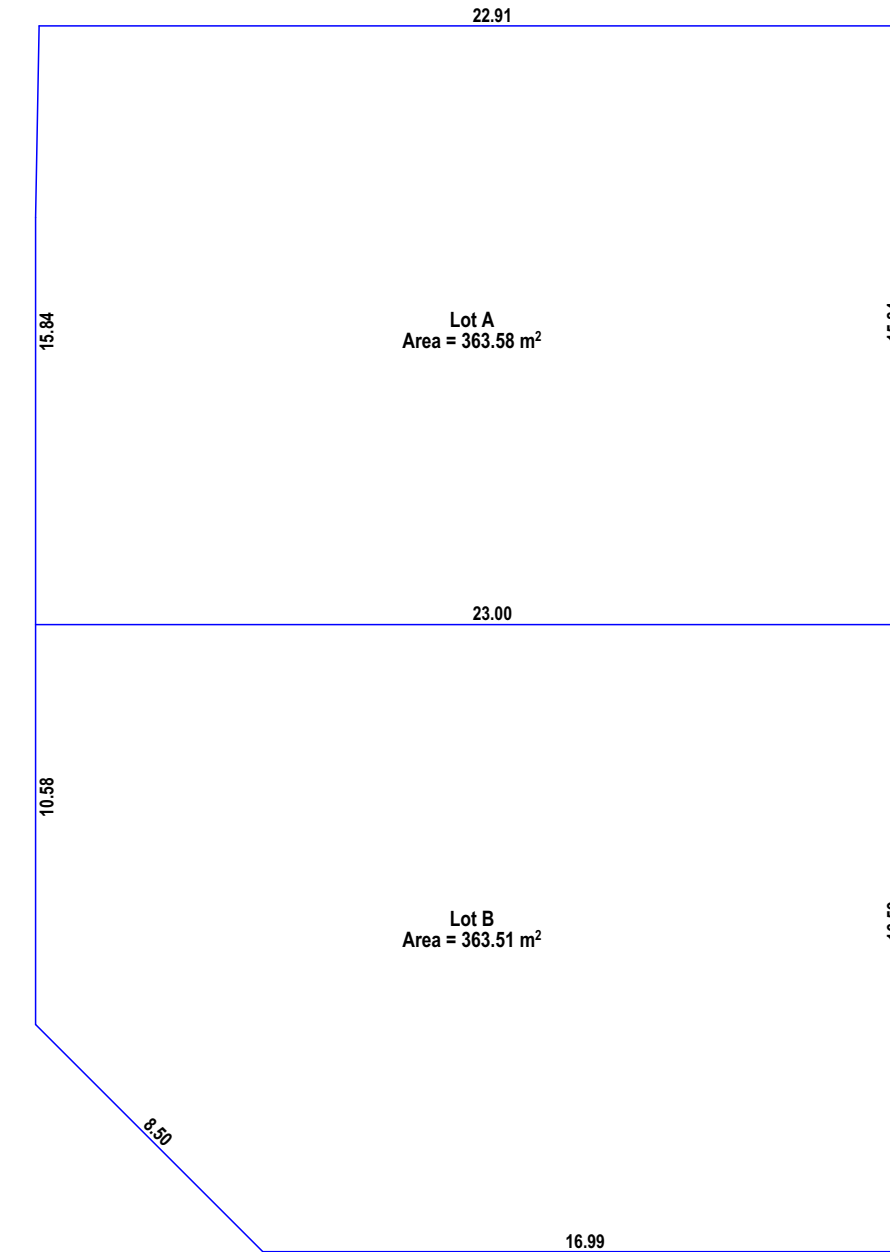
**Ground Cover**

-  Paving
-  Grass
-  Mulch (depth to be minimum 300mm as per city reqs)

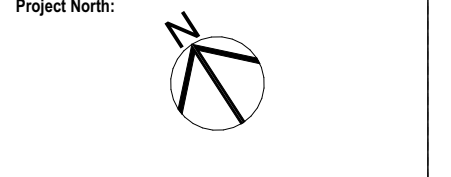
**Plant Schedule**

| Plant Schedule   | Quant | Pot Size | Height   |
|--|-------|----------|----------|
|  Coastal Banjine Pimelea Ferruginea | 14    | 140m     | 0.3-1.5m |
|  Dianella revoluta Little Rev       | 27    | 140m     | 30-40cm  |
|  Little Ruby                        | 22    | 140m     | 30-40cm  |
|  Frangipani                         | 2     | 35lt     | 1-15m    |
|  Acer Palmatum                      | 20    | 100m     | 0.6m     |

Note:  
 - Landscaping to all planted areas including grass area  
 - All landscaping to be provided with automated reticulation



| Revision | Description | Date     |
|----------|-------------|----------|
| 2.00     | DA Drawings | 27.02.24 |
| 1.00     | Concept     | 19.09.23 |



Client  
D'Amico

Project Name  
2 x Single Storey Dwellings

Project Address  
90 Giles Ave PADBURY

Drawing Title:  
**Landscaping/Strata Plan**

|                             |                                 |
|-----------------------------|---------------------------------|
| Scale:<br><b>1:200</b>      | Sheet Size:<br><b>A2</b>        |
| Project No:<br><b>23035</b> | Revision Number:<br><b>2.00</b> |

Drawing No.:  
**04 of 06**



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GILES AVENUE



PHILLIP COURT

**Site Calculations**

|                          |                      |
|--------------------------|----------------------|
| Unit A                   |                      |
| Site Area:               | 363.58m <sup>2</sup> |
| Building Footprint:      | 193.36m <sup>2</sup> |
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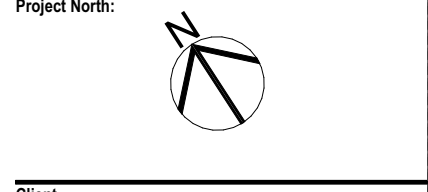
|                          |                      |
|--------------------------|----------------------|
| Unit B                   |                      |
| Site Area:               | 363.51m <sup>2</sup> |
| Building Footprint:      | 199.09m <sup>2</sup> |
| Site Coverage:           | 54.78%               |
| Allowable Site Coverage: | 50%                  |

| Zone              | Area                  | Perim      |
|-------------------|-----------------------|------------|
| <b>Dwelling A</b> |                       |            |
| Portico           | 5.40                  | 11.980     |
| Alfresco          | 12.60                 | 14.400     |
| Garage            | 40.19                 | 26.380     |
| Residence         | 150.45                | 62.160     |
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|      |             |          |
|------|-------------|----------|
| 2.00 | DA Drawings | 27.02.24 |
| 1.00 | Concept     | 19.09.23 |

| Revision | Description | Date |
|----------|-------------|------|
|----------|-------------|------|



Client  
D'Amico

Project Name  
2 x Single Storey Dwellings

Project Address  
90 Giles Ave PADBURY

Drawing Title:  
Floor Plan

Scale: 1:100 Sheet Size: A2

Project No: 23035 Revision Number: 2.00

Drawing No.: 05 of 06

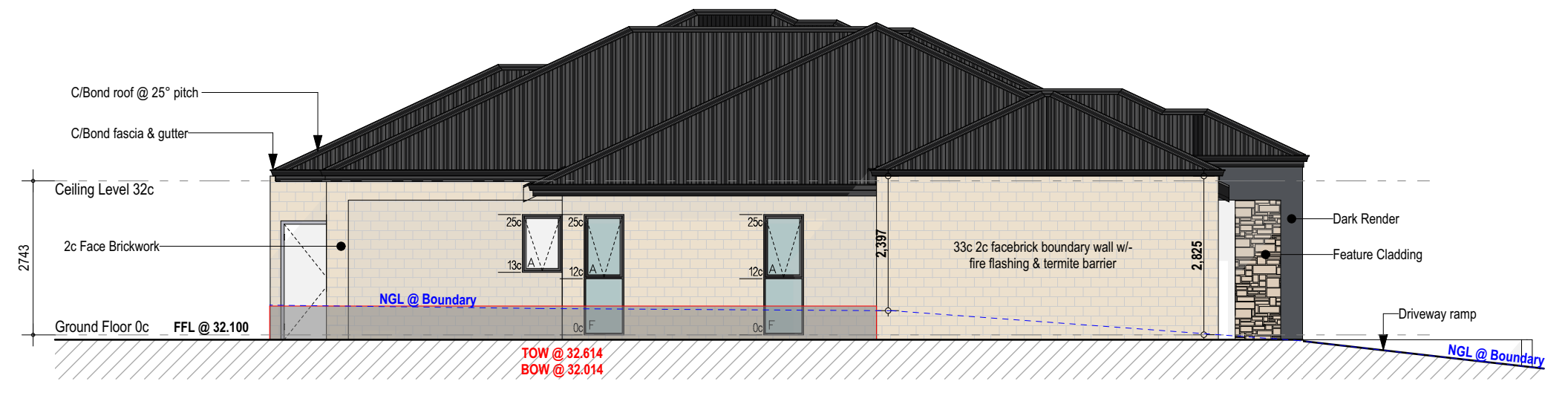


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(08) 9248 8392 germanodesigns.com.au

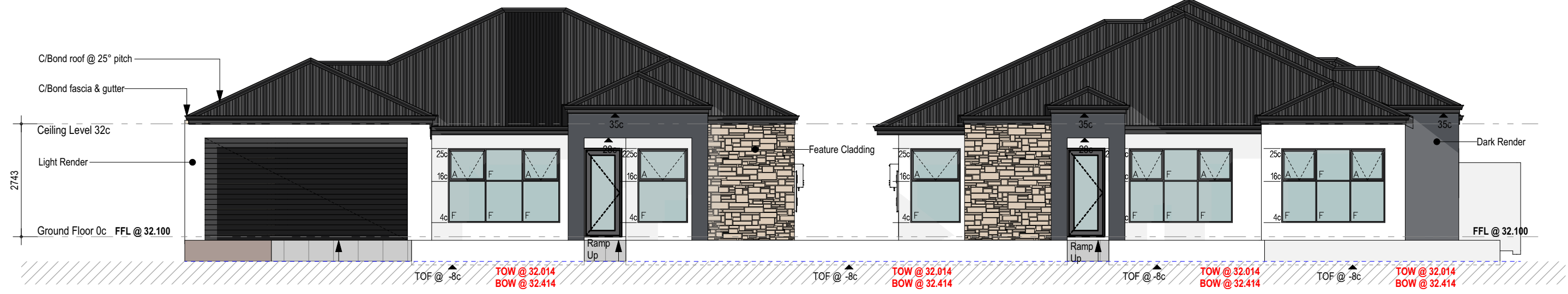
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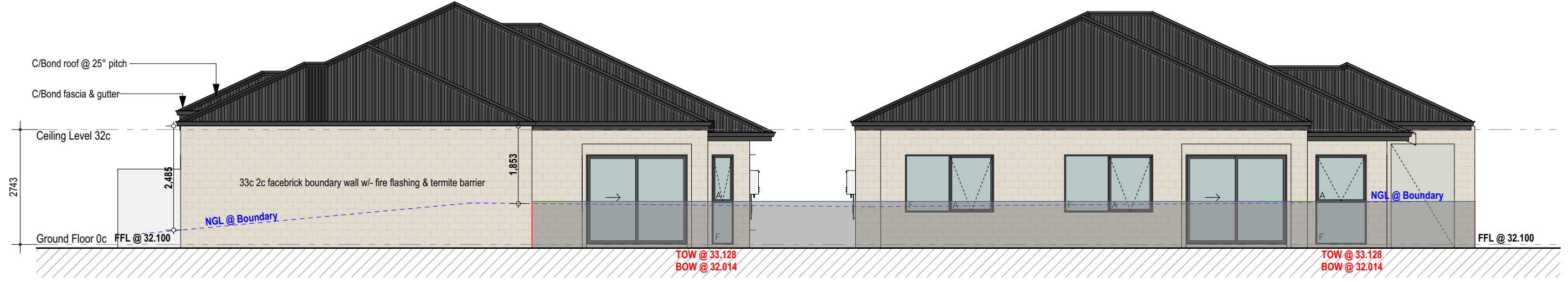
E1 South West Elevation  
1:100



E3 North East Elevation  
1:100



E2 North West Elevation  
1:100



E4 South East Elevation  
1:100

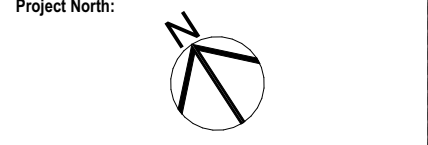


E5 Elevation  
1:100



E6 Elevation  
1:100

| Revision | Description | Date     |
|----------|-------------|----------|
| 2.00     | DA Drawings | 27.02.24 |
| 1.00     | Concept     | 19.09.23 |



Client  
D'Amico

Project Name  
2 x Single Storey Dwellings

Project Address  
90 Giles Ave PADBURY

Drawing Title:  
**Elevations**

|                             |                                 |
|-----------------------------|---------------------------------|
| Scale:<br><b>1:100</b>      | Sheet Size:<br><b>A2</b>        |
| Project No:<br><b>23035</b> | Revision Number:<br><b>2.00</b> |

Drawing No.:  
**06 of 06**

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