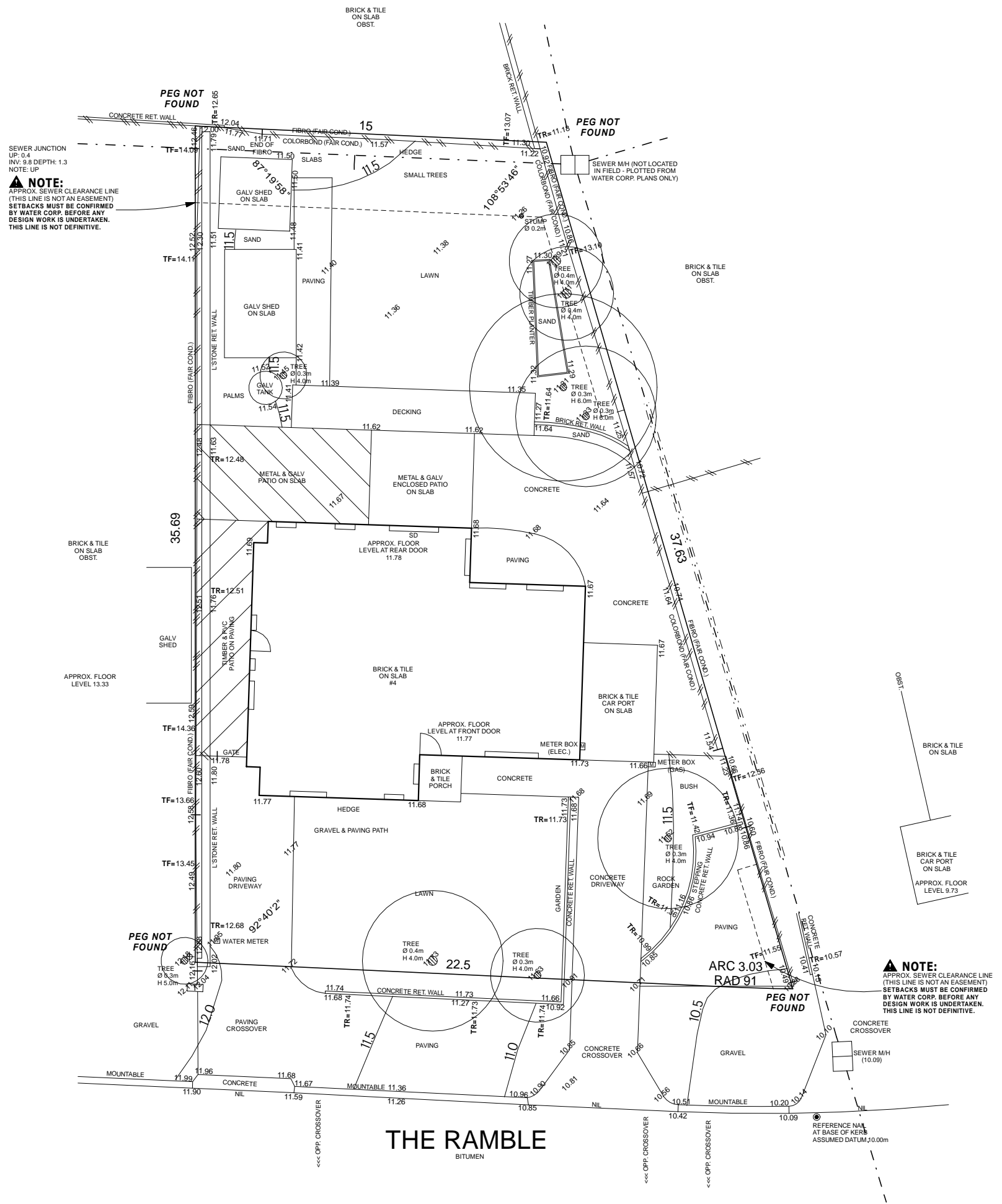


⊕	POWER DOME
⊖	POWER POLE
⊠	PHONE PITS
⊡	WATER CONN.
⊢	TOP PILLAR/POST
⊣	TOP WALL
⊤	TOP RETAINING
⊥	TOP FENCE



**LOT MISCLOSE**  
0.004 m

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

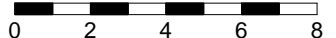
**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**NOTE:**  
APPROX. SEWER CLEARANCE LINE (THIS LINE IS NOT AN EASEMENT) SETBACKS MUST BE CONFIRMED BY WATER CORP. BEFORE ANY DESIGN WORK IS UNDERTAKEN. THIS LINE IS NOT DEFINITIVE.

**THE RAMBLE**  
BITUMEN

Scale 1:200



87-89 Guthrie Street  
Osborne Park, WA 6017  
  
PO Box 1611  
Osborne Park  
Business Centre WA 6917  
  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

**JOB #** 560604  
**CLIENT** Matthew Hill  
**ADDRESS** #4 The Ramble  
**SUBURB** Woodvale  
**LGA** CITY OF JOONDALUP  
**DRAWN** B. Smith

**GPS** Lat: -31.797954 Long: 115.789114  
**ORDER #** 168046  
**LOT** Lot 180 (Plan 12416)  
**AREA** 723m<sup>2</sup> **VOL.** 1505 **FOL.** 750  
**DATE** 28 Nov 23 **SSA** No

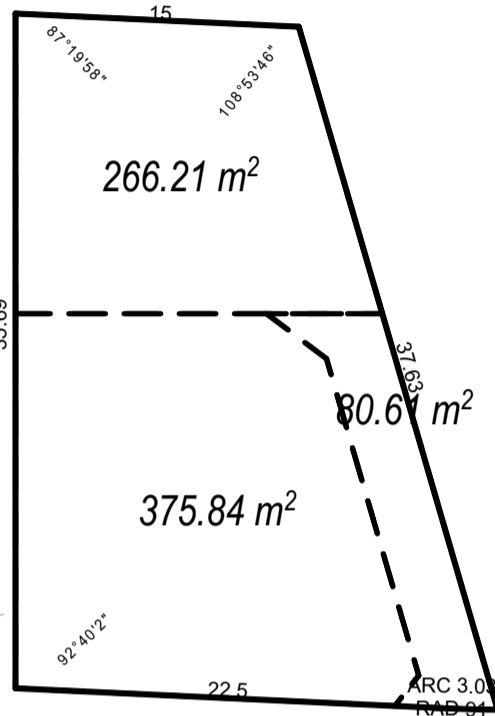
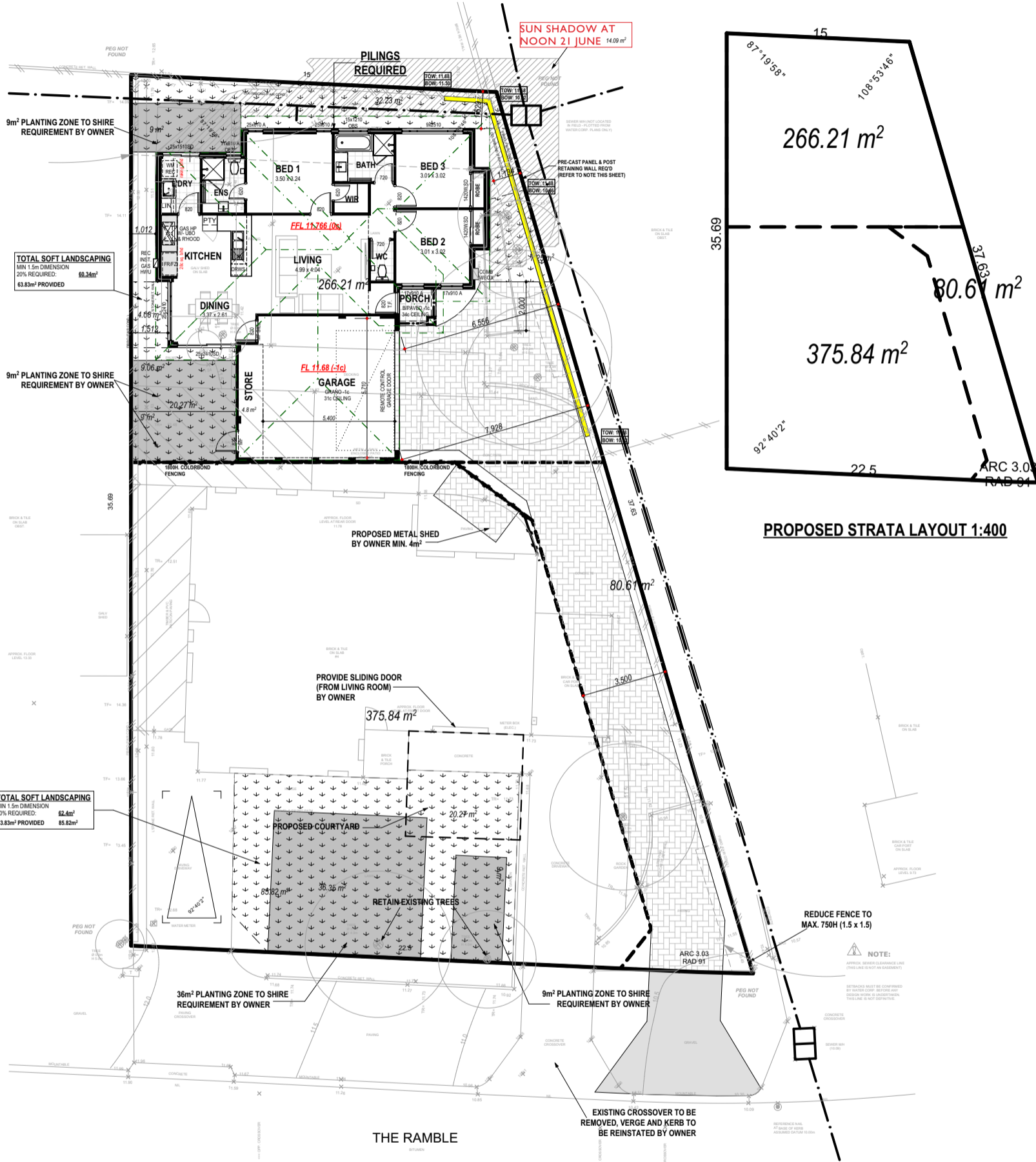
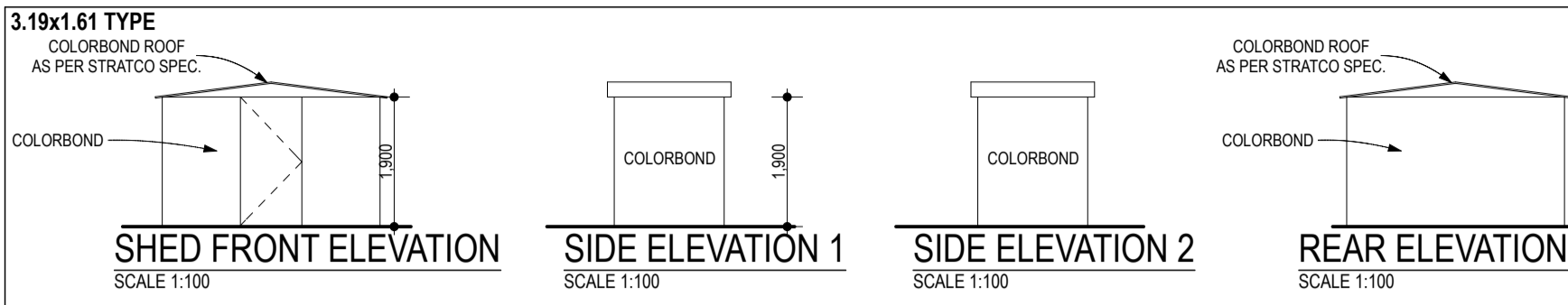
**ROADS** Bitumen  
**KERBS** Mountable / Nil  
**FOOTPATH** Nil  
**SOIL** Sand  
**DRAINAGE** Good  
**VEGETATION** Light Grass Cover

**ELEC.** U/Ground  
**COMMS.** Yes  
**WATER** Yes  
**GAS** Check Alinta  
**SEWER** Yes  
**COASTAL** No

(Approximate Only Confirm With Shire)

# SITE PLAN

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site or without delay.  
DIMENSIONS TO BRICKWORK.



PROPOSED STRATA LAYOUT 1:400

**NOTE TO CLIENT:**  
**PROXIMITY TO ROAD & RAIL NOISE SPP 5.4**  
 THIS SITE FALLS WITHIN PROXIMITY TO AN IDENTIFIED TRANSPORT CORRIDOR  
 AN ACOUSTIC REPORT MAY BE REQUIRED AT DEVELOPMENT APPLICATION STAGE  
 OR QUIET HOUSE REQUIREMENTS MAY BE PRESCRIBED BY THE LOCAL AUTHORITY  
 ADDITIONAL ACOUSTIC UPGRADES MAY BE INCURRED.  
 REFER TO [HTTPS://ESPATIAL.DPLH.WA.GOV.AU/PLANWA/INDEX.HTML?VIEWER=PLANWA&LAYERTHEME=2&RUN=THEMELAYERSELECTOR&LAYERNAME=SPP%205.4%20ROAD%20AND%20RAIL%20NOISE](https://espatial.dplh.wa.gov.au/planwa/index.html?viewer=planwa&layertheme=2&run=themelayerselector&layername=spp%205.4%20road%20and%20rail%20noise)  
 AND SPEAK TO YOUR SALES CONSULTANT FOR MORE INFORMATION.

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CONSULTANT:  
 CLIENT(S):

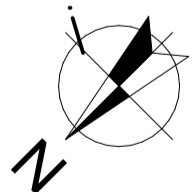
- SUN SHADOW AT NOON 21 JUNE
- 2c FACE BRICK - 1/3RD BOND
- LOCATION A - LESS THAN 850m TO TRAIN STATION
- NOTE:**  
DRAWING SUBJECT TO LOCAL AUTHORITY APPROVAL

**RETAINING CONTRACTOR NOTE:**  
 - GROUND LINE TO GROUNDLINE LEVELS INDICATED ONLY FOR SHIRE ASSESSMENT.  
 - FOR QUOTING PURPOSES ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ.  
 - REFER TO NEIGHBOURS EXISTING LEVELS AND / OR NEW NOMINATED PAVING / LANDSCAPING LEVELS TO CALCULATE EXTENT OF RETAINING HEIGHT INCL. MIN EMBEDMENTS REQUIRED.

PROPOSED RESIDENCE FOR: HILL	DRAWN: RC	SCALE: 1:200	Transmittal Set Name P2 DA	Drawn RC	Date 07.02.2024	Transmittal Set Name	Drawn	Date
ADDRESS: LOT 180 #4 THE RAMBLE WOODVALE	DESIGNED: RC	SHEET: 2 OF 5						
	CHECKED: #Checked	SIZE: A3						
	DATE: 11.12.2023	#Division						
	MODEL: #Model Type	JOB N° 168046						

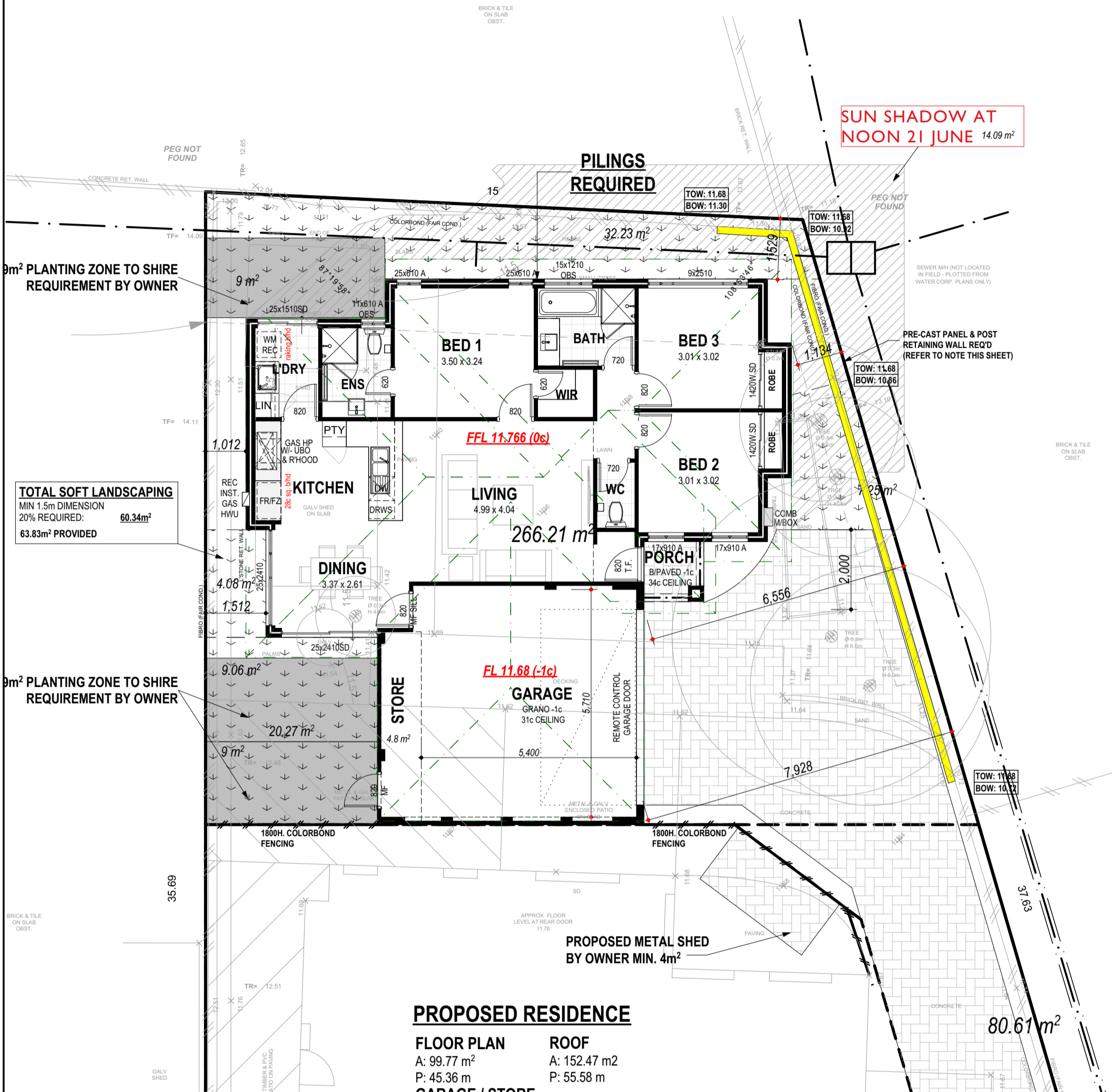
FEAS_DA SITE PLAN (A3 V)
--------------------------

ZONING R20/40 HOA 6  
 TOTAL SITE AREA 723 m²



FLOOR PLAN

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.



PROPOSED RESIDENCE

<b>FLOOR PLAN</b>	<b>ROOF</b>
A: 99.77 m <sup>2</sup>	A: 152.47 m <sup>2</sup>
P: 45.36 m	P: 55.58 m
<b>GARAGE / STORE</b>	
A: 39.10 m <sup>2</sup>	
<b>PORTICO</b>	
A: 2.25 m <sup>2</sup>	
<b>TOTAL AREA</b>	
A: 141.12 m <sup>2</sup>	
<b>EXCLUSIVE LOT AREA</b>	<b>266.21 m<sup>2</sup></b>
<b>CPA</b>	<b>40.31 m<sup>2</sup></b>
<b>TOTAL SITE AREA</b>	<b>306.52 m<sup>2</sup></b>
<b>BUILDING AREA</b>	<b>138.87 m<sup>2</sup></b>
<b>OPEN SPACE</b>	<b>54.69 %</b>

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CONSULTANT: \_\_\_\_\_

CLIENT(S): \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
HILL

ADDRESS:  
LOT 180 #4 THE RAMBLE  
WOODVALE

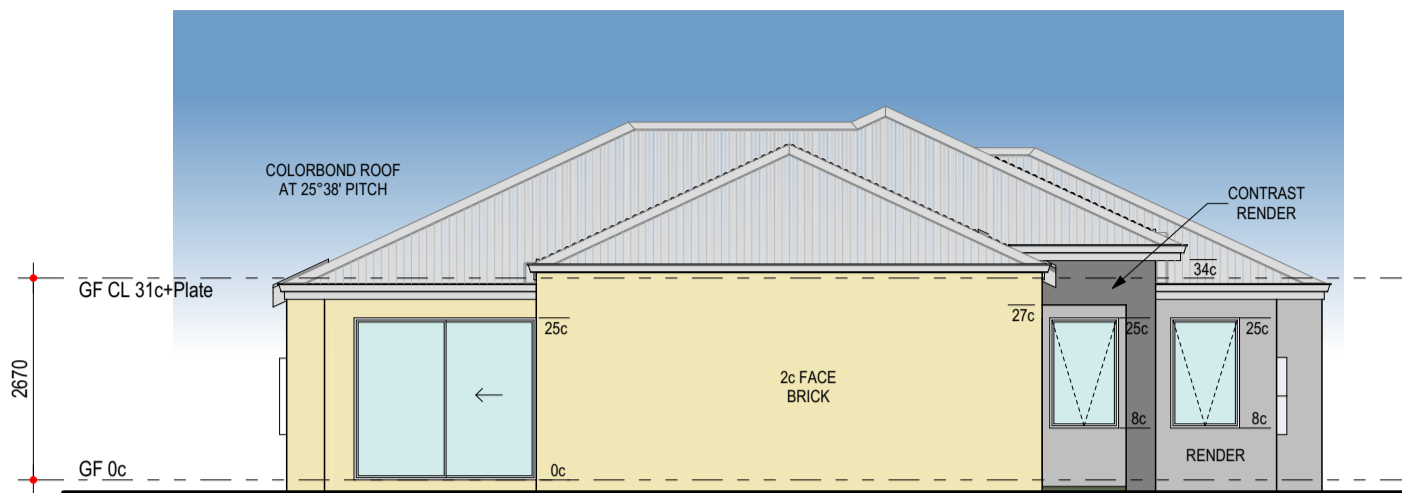
DRAWN: RC	SCALE: 1:100	Transmittal Set Name P2 DA	Drawn RC	Date 07.02.2024	Transmittal Set Name	Drawn	Date
DESIGNED: RC	SHEET: 3 OF 5						
CHECKED: #Checked	SIZE: A3						
DATE: 11.12.2023	#Division						
MODEL: #Model Type	JOB N° 168046						

FEAS\_DA FLOOR PLAN (A3 V)

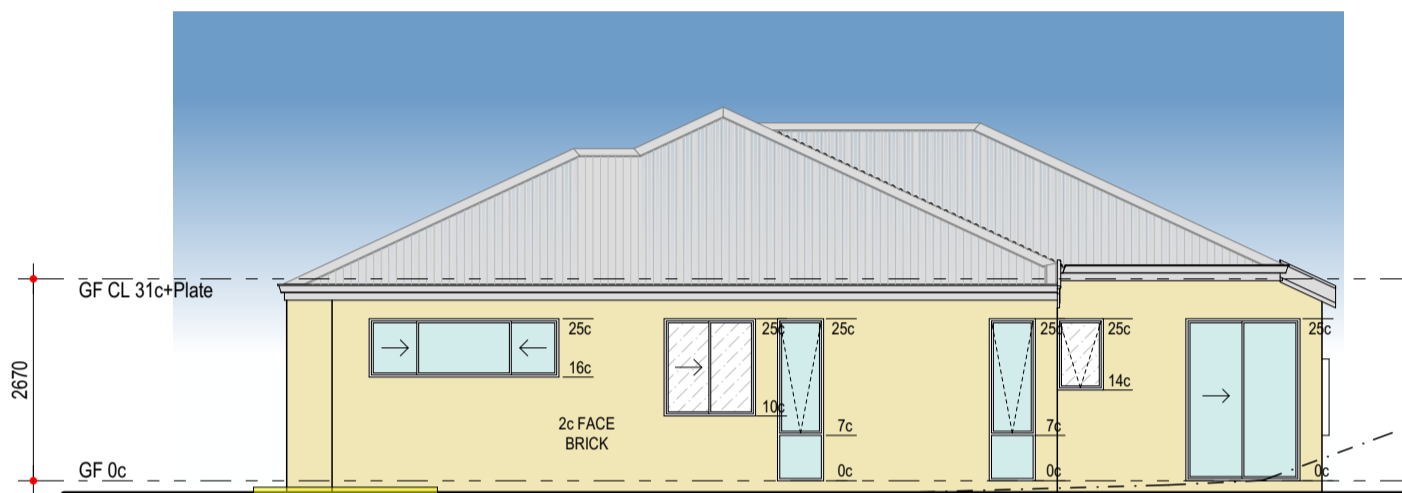


# ELEVATIONS

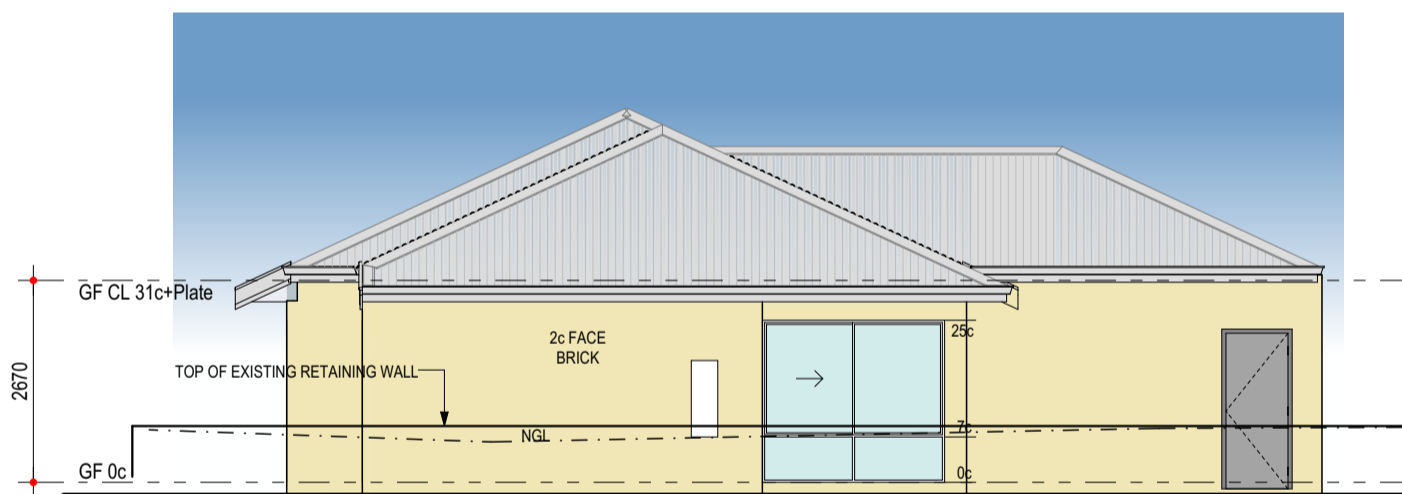
DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.



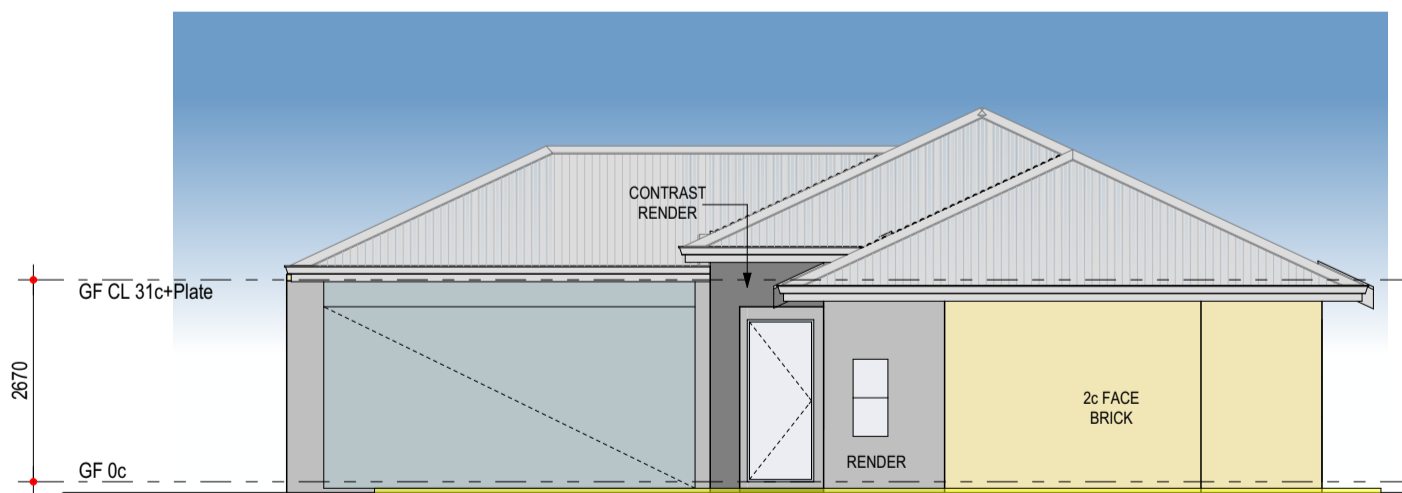
**ELEVATION 1**



**ELEVATION 2**



**ELEVATION 3**



**ELEVATION 4**

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PROPOSED RESIDENCE FOR:  
**HILL**

ADDRESS:  
**LOT 180 #4 THE RAMBLE  
WOODVALE**

**BUILT AROUND PEOPLE**

DRAWN:	RC	SCALE:	1:100
DESIGNED:	RC	SHEET:	4 OF 5
CHECKED:	#Checked	SIZE:	A3
DATE:	11.12.2023	#Division	
MODEL:		JOB N°	
#Model Type			168046

Transmittal Set Name	Drawn	Date	Transmittal Set Name	Drawn	Date
P2 DA	RC	07.02.2024			

FEAS\_DA ELEVATIONS (A3 V)




**SUMMIT**  
HOMES GROUP

BUILD | RENOVATE | DEVELOP

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# LANDSCAPE PLAN

DO NOT SCALE FROM THIS DRAWING  
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

LANDSCAPING LEGEND / PLANT SCHEDULE		
SYMBOL	PLANT NAME	SIZE
	Viburnum Odoratissimum	5 Litre
	Lomandra Lime Tuff	5 Litre
	Dianella Tasmanian Red	5 Litre
	Dianella Cassa Blue	5 Litre
	Dianella Wyeena	5 Litre
	Draceana Marginata	5 Litre
	Yucca Silver Star	12 Litre
	Syzgium Orange Twist	12 Litre
	Magnolia Teddy Bear	30 Litre
	Syzygium Hinterland Gold	30 Litre
	Pyrus Calleryana Capital	30 Litre
	Prunus Crimson Spire	30 Litre
	Ulmus Parvifolia (Chinese Elm can grow 10 to 15 tall, 15 to 18m wide)	90 Litre

**LANDSCAPING NOTE:**

ALL LANDSCAPING ILLUSTRATED INDICATIVE ONLY  
ALL LANDSCAPING BY CLIENT AFTER HANDOVER

**RETICULATION NOTE:**

GARDENS TO BE IRRIGATED BY AUTOMATIC RETICULATION SYSTEM WITH DRIP LINES AND DRIPPERS.  
ALL RETICULATION TO COMPLY WITH WATER GUIDELINES

**LANDSCAPING NOTE:**

ALL SPECIFIED PLANTS SUBJECT TO AVAILABILITY  
ALL NOMINATED SPACING, SIZES AND HEIGHTS ARE APPROXIMATE ONLY AND SUBJECT TO ADJUSTMENT ON SITE

**LANDSCAPING NOTE:**

LOW PLANTING TO BE UTILISED TO MAINTAIN LINE OF SITE IN DRIVEWAYS & VISUAL TRUNCATIONS



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CONSULTANT: \_\_\_\_\_  
CLIENT(S): \_\_\_\_\_

PROPOSED RESIDENCE FOR:  
HILL

ADDRESS:  
LOT 180 #4 THE RAMBLE  
WOODVALE

DRAWN: RC  
DESIGNED: RC  
CHECKED: #Checked  
DATE: 11.12.2023  
MODEL: #Model Type

SCALE: 1:100  
SHEET: 5 OF 5  
SIZE: A3  
#Division  
JOB N° 168046

Transmittal Set Name: P2 DA  
Drawn: RC  
Date: 07.02.2024  
Transmittal Set Name: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Date: \_\_\_\_\_

FEAS\_DA LANDSCAPE PLAN (A3 V)



**SUMMIT**  
HOMES GROUP

BUILD | RENOVATE | DEVELOP