

A 242 Leach Hwy, Myaree WA 6154  
PA PO Box 4028, Myaree BC, WA 6960  
T 08 9317 0100  
W [summithomes.com.au](http://summithomes.com.au)



Our Ref: 168046

6 February 2024

Chief Executive Officer

**City of Joondalup**

Attn: Manager Approval Services

Dear Sir/Madam

**APPLICATION FOR DEVELOPMENT APPROVAL FOR A GROUPED DWELLING TO THE REAR OF AN EXISTING DWELLING AT 4 (LOT 180) THE RAMBLE, WOODVALE**

Please find the enclosed application for Development Approval for a Grouped Dwelling to the rear of an existing dwelling. The site is zoned Residential R20/R40 with development proposed at the higher code. The applicable planning framework is the HOA-LPP and the 2021 R-Codes (noting the Draft Codes will be Gazetted in April). The design is largely within the limitations of the Deemed-to-Comply standards and in keeping with the intended character and scale of development in the R20/R40 precinct. Components of the proposal seeking assessment under the Design Principles are addressed below.

PLANNING FRAMEWORK	
MRS	Urban
LPS 3	Residential 'R20/R40'
LPP	Development in Housing Opportunity Areas Local Planning Policy
SPP 3.7 Bushfire Prone	Not Applicable outside policy area
SPP 5.4 Road and Rail Noise	Within policy area
SPP 7.3 R-Codes	Volume 1 – 2021

**APPLICABLE PLANNING FRAMEWORK**

NEW HOMES

RENOVATIONS

GRANNY FLATS

DEVELOPMENTS



### **Variation – R-Codes 5.1.2 Communal Street Setback**

Part of the dwelling to be retained would project forward of the 1m secondary (communal) street setback. The relevant Design Principle states as follows:

*P2.1 Buildings set back from street boundaries an appropriate distance to ensure they:*

- *contribute to, and are consistent with, an established streetscape;*
- *provide adequate privacy and open space for dwellings;*
- *accommodate site planning requirements such as parking, landscape and utilities; and*
- *allow safety clearances for easements for essential service corridors.*

*P2.2 Buildings mass and form that:*

- *uses design features to affect the size and scale of the building;*
- *uses appropriate minor projections that do not detract from the character of the streetscape;*
- *minimises the proportion of the façade at ground level taken up by building services, vehicle entries and parking supply, blank walls, servicing infrastructure access and meters and the like; and*
- *positively contributes to the prevailing or future development context and streetscape as outlined in the local planning framework.*

Only a small portion of the building would project within the secondary street setback and overall it is considered the communal street would not appear enclosed or 'boxed-in'. The proposal exceeds open space and other street setback provisions and would not appear as overdevelopment of the site. In addition, the proposal achieves compliance with site planning requirements such as car parking and landscaping of the applicable planning framework. The reduced setback would not compromise privacy or clearance to services.

### **Variation – C5.3.7 Site Works**

The proposal incorporates excavation and retaining to depth of 960mm below natural ground level with a 300mm setback in lieu of 1m. The relevant Design Principle is as follows:

*P7.1 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.*

*P7.2 Where excavation/fill is necessary, all finished levels respecting the natural ground level at the lot boundary of the site and as viewed from the street.*





### **Variation – HOA LPP 10.1 – Crossover exceeds 4.5m**

The aggregate width of each crossover would exceed 4.5m. The relevant Policy objective is as follows:

- *Crossovers for development sites are minimised to provide for:*
  - o *Pedestrian safety;*
  - o *Safe access for vehicles to enter and exit a property; and*
  - o *High quality landscaping with minimal hardstand.*
- *Where practical, driveways are to be constructed from permeable paving.*

Provision of two separate driveways would reduce potential conflict between vehicles and pedestrians and therefore improve safety. This arrangement would also provide greater legibility of the entrance to each dwelling. While two crossovers are proposed the width is only marginally over 4.5m and in the context of a 22.5m wide lot the amount of hard surface would not appear excessive. The proposal meets the total landscaping requirement, on-site tree requirement and verge tree requirement of the applicable planning framework. Solid paving has been selected to reduce cost and maintenance issues.

### **HOA LPP C16.2 – Ceiling Height**

The Primary Living Space would have a ceiling height of 2.65m in lieu of 2.7m. The relevant Policy Objective is as follows:

- *The internal size and layout of dwellings is functional with the ability to flexibly accommodate furniture settings and personal goods, appropriate to the expected household size.*
- *Ceiling heights and room dimensions provide for wellproportioned spaces that facilitate good natural ventilation and daylight access.*

This is not a material difference and given the room size, multiple windows and solar aspect to the living space it is considered the space would not feel enclosed or confined. The bedroom and remaining heights achieve compliance with NCC Deemed-to-Satisfy provisions. Given these rooms and spaces are used primarily for sleeping, dressing and access it is considered the ceiling height is appropriate.



A 242 Leach Hwy, Myaree WA 6154  
PA PO Box 4028, Myaree BC, WA 6960  
T 08 9317 0100  
W [summithomes.com.au](http://summithomes.com.au)



An acoustic report has been ordered but not yet received. It is requested, with respect, should all other aspects of the proposal be supported by the City that a condition be imposed requiring either compliance with Package A of SPP 5.4 or in accordance with the recommendations of an acoustic consultant to the satisfaction of the City.

I can be contacted on the details below should you require any further information or wish to discuss the proposal.

Regards

A handwritten signature in black ink, appearing to read "Hamish Gleeson".

**Hamish Gleeson**

BA (Urban and Regional Planning) (Hons)  
Senior Town Planner

Email: [hamishg@summithomes.com.au](mailto:hamishg@summithomes.com.au)

Phone: 9317 0212